

**AGENDA**  
**PLANNING COMMISSION**  
**REGULAR MEETING**  
**3:30 p.m. Tuesday, October 6, 2020**  
**City Council Chambers, 2nd Floor of City Hall**  
**823 Rosenberg, Galveston, Texas**

In order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID-19), the meeting will be held by videoconference and there will be no public access to the location described above.

Public Comment can be submitted on-line: <https://forms.galvestontx.gov/Forms/PublicComment> or by calling 409-797-3665.

1. Call Meeting To Order
2. Attendance
3. Election Of Chair And Vice-Chair
4. Conflict Of Interest
5. Approval Of Minutes: September 22, 2020

Documents:

[2020-09-22 PC MINUTES.PDF](#)

6. Meeting Format (Staff)
7. Public Comment

Members of the public may submit a public comment using the web link below. All comments submitted prior to the meeting will be provided to the Planning Commission.

[HTTPS://FORMS.GALVESTONTX.GOV/FORMS/PUBLICCOMMENT](https://forms.galvestontx.gov/forms/publiccomment)

- a. Agenda Items
- b. Non-Agenda Items

8. New Business And Associated Public Hearings
  - A. 20P-017a (24131 San Luis Road/FM 3005) Request For A Beachfront Construction Certificate/Dune Protection Permit In Order To Construct A Single-Family Dwelling And Driveway. The Property Is Legally Described As Sur Tract 19, A Subdivision In The City And County Of Galveston, Texas. Applicant: Kai Adkins – Edgewood Ventures Property Owner: Edgewood Ventures, LLC

Documents:

[20P-017A - STAFF REPORT.PDF](#)

- B. 20P-031 (26003 Flamingo Dr.) Request For A Beachfront Construction Certificate/Dune Protection Permit In Order To Construct A Single-Family Dwelling And Driveway. The

Legal Description Of The Property Is Lot 8, Block 1, Pointe West, Section 1, A Subdivision In The City And County Of Galveston, Texas. Applicant: Cate Black, Architect Owners: Stephanie And Scott Hildebrandt

Documents:

[20P-031 - STAFF REPORT.PDF](#)

- C. 20P-030 (1615 Avenue K) Request For Designation As A Galveston Landmark. Property Is Legally Described As M.B. Menard Survey, Lot 4, Block 76, In The City And County Of Galveston, Texas. Applicants And Property Owners: Rowan Dougherty And Wallace W. Wood, Jr.

Documents:

[20P-030 PKT.PDF](#)

- D. 20P-033 (Vacant Tracts Located East Of Sea Breeze, South Of San Luis Pas Road/FM 3005, And West Of 8 Mile Road) Request For A Preliminary Plat To Incorporate 4.59 Acres Of The Subject Tract As Part Of Beachside Village, Section 6; Extend Starfish Drive And Develop The Beachside Village Residential Reserve. Properties Are Legally Described As The Preserve At West Beach, Section 1 (2010), Abstract 121, East 44.38 (5972-0-0-0), And Beachside Village, Section 5 (2019), Abstract 121 Residential Reserve, In The City And County Of Galveston, Texas. Applicant: Kahala Development, LP C/O Debbie Reinhart Property Owners: Kahala Development, LP And Marquette Galveston INV.

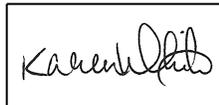
Documents:

[20P-033 - STF PKT.PDF](#)

9. Discussion And Action Items

10. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on October 2, 2020 at 4:00 P.M.



Prepared by: Karen White, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TX 77550 (409-797-3510)

**MEMBERS OF CITY COUNCIL MAY BE ATTENDING AND PARTICIPATING IN THIS MEETING**



# City of Galveston

## MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON REGULAR MEETING – September 22, 2020

### CALL MEETING TO ORDER

The meeting was called to order at 3:32 p.m.

### ATTENDANCE

Members Present via Videoconference: Jeff Antonelli, Cate Black, Bob Brown, Eugene Cook, Jeffrey Hill, Carol Hollaway, CM John Paul Listowski

Members Absent: None

Staff Present: Catherine Gorman, AICP, Assistant Director/HPO

Staff Present via Telephone: Tim Tietjens, Executive Director of Development Services; Adriel Montalvan, Senior Project Manager; Daniel Lunsford, Planner; Karen White, Planning Technician; Donna Fairweather, Assistant City Attorney

### CONFLICT OF INTEREST

Council Member John Paul Listowski, Ex-Officio – 20P-032

### APPROVAL OF MINUTES

The August 18, 2020 minutes were approved as presented.

### MEETING FORMAT

Staff explained the adjusted meeting format to the Commission and the public.

### PUBLIC COMMENT

Public comment was provided to the Commission via email.

### NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

#### LANDMARK DESIGNATION

**20P-025 (1408 Ursuline / Avenue N)** Request for designation as a Galveston Landmark. Property is legally described as M.B. Menard Survey, West 14-2 Feet of Lot 9 and East 14-4 Feet of Lot 10 (20090-2), Southwest Block 22 Galveston Outlots, in the City and County of Galveston, Texas.

Applicant: Michael and Suzanne McClere

Property Owner: Michael McClere

Staff presented the staff report and noted that of thirty-six (36) notices of public hearing sent, three (3) had been returned in favor and zero (0) had been returned in opposition.

Chairperson Cate Black opened the public hearing on case 20P-025. Applicant and property owner Suzanne McClere presented to the Commission. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Vice-Chairperson Jeffrey Hill made a motion to recommend approval of case 20P-025 with staff's recommendations. Bob Brown seconded, and the following votes were cast:

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway  
Opposed: None  
Absent: None  
Non-voting participant: CM John Paul Listowski (Ex-Officio)

**The motion passed.**

**REPLAT**

**20P-032 (Vacant Tract Located North of Teichman Road and East of Vista Bella)** Request for a replat in order to increase the number of lots from one (1) to six (6). Property is legally described as Abstract 121, Hall & Jones Survey, Part of Reserve B (0-2), Ponticello Replat (2008), in the City and County of Galveston, Texas.

Applicant: John Paul Listowski  
Property Owner: Listowski Hatmaker LP

Council Member and Ex-Officio John Paul Listowski recused himself citing a conflict of interest.

Staff presented the staff report and noted that of six (6) notices of public hearing sent, four (4) had been returned in favor and two (2) had been returned in opposition.

Chairperson Cate Black opened the public hearing on case 20P-032.

Chairperson Cate Black tabled the public hearing in order to allow the applicant to participate, as the applicant was facing unexpected technical difficulties. Bob Brown seconded.

**PUD REVOCATION**

**20P-026 (4507-4509 Bernardo de Galvez/Avenue P)** Request to revoke a Planned Unit Development (PUD) Overlay District approved under Ordinance 15-033. Properties are legally described as M.B. Menard Survey, Lot 8, Block 109, Denver Resurvey; and M.B. Menard Survey, Lots 9 & 10, Block 109, Denver Resurvey; in the City and County of Galveston, Texas.

Applicant: City of Galveston  
Property Owner: Robert G. and Dorothy J. Raines

Staff presented the staff report and noted that of twenty (20) notices of public hearing sent, two (2) had been returned in favor and zero (0) had been returned in opposition.

Chairperson Cate Black opened the public hearing on case 20P-026. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Chairperson Cate Black made a motion to recommend revocation of the Planned Unit Development (PUD) Overlay District approved under Ordinance 15-033 since conditions of the approval had not been met and, therefore, the approval had expired. Vice-Chairperson Jeffrey Hill seconded, and the following votes were cast:

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway  
Opposed: None  
Absent: None  
Non-voting participant: CM John Paul Listowski (Ex-Officio)

**The motion passed.**

**RELATED CASES**

**20P-027 (11279 Stewart Road)** Request for a Specific Use Permit to operate a "Substance Abuse Facility." Property is legally described as the Northeast part of Lot 39 (39-1), Trimble and Lindsey, Section 2, in the City and County of Galveston, Texas.

Applicant: Edward Jackson  
Property Owner: Veco V. Delagardie

Staff presented the staff report and noted that of twenty-three (23) notices of public hearing sent, zero (0) had been returned in favor and five (5) had been returned in opposition.

Chairperson Cate Black opened the public hearing on case 20P-027. Staff summarized the public comment received. Applicant Edward Jackson, clinical director Dean Sims, engineer Norman Hoffman, and consultant Brax Easterwood, AIA, presented to the Commission. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Chairperson Cate Black made a motion to recommend approval of case 20P-027 with staff's recommendations and the following conditions:

1. Applicant shall provide continuous fencing around perimeter of property, which incorporates landscaping and does not substantially negatively impact the natural environment;
2. Any exterior lighting shall be installed so as to minimize light trespass and reduce overnight lighting between the hours of 10 PM and sunrise;
3. Applicant shall provide proof of issuance of any required licenses before commencing operations; and
4. Hours of Visitation. Visits to residents of the facility by non-residents shall not occur between the hours of 10:00 PM and 8:00 AM.

Vice-Chairperson Jeffrey Hill seconded.

Bob Brown proposed the following friendly amendment:

- Applicant shall make available to the City an Emergency Response Plan before issuance of Certificate of Occupancy;

Executive Director of Development Services Tim Tietjens proposed the following friendly amendment:

- Approval of this Specific Use Permit is subject to the business plan in substantially the same form as submitted per Exhibit B;

Chairperson Cate Black and Vice-Chairperson Jeffrey Hill accepted both friendly amendments, and the following votes were cast:

In favor:	Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed:	None
Absent:	None
Non-voting participant:	CM John Paul Listowski (Ex-Officio)

**The motion passed.**

**20P-028 (11279 Stewart Road)** Request for a partial change of zoning from Residential, Single-Family, Height and Density Development Zone, Zone 6 (R-1-HDDZ-6) to a Commercial, Height and Density Development Zone, Zone 6 (C-HDDZ-6) zoning district. Property is legally described as the Northeast part of Lot 39 (39-1), Trimble and Lindsey, Section 2, in the City and County of Galveston, Texas.

Applicant: Edward Jackson

Property Owner: Veco V. Delagardie

Staff presented the staff report and noted that of twenty-three (23) notices of public hearing sent, zero (0) had been returned in favor and five (5) had been returned in opposition.

Chairperson Cate Black opened the public hearing on case 20P-028. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Carol Hollaway made a motion to recommend approval of case 20P-028 with staff's recommendations. Chairperson Cate Black, and the following votes were cast:

In favor:	Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed:	None
Absent:	None
Non-voting participant:	CM John Paul Listowski (Ex-Officio)

**The motion passed.**

**REPLAT**

**20P-032 (Vacant Tract Located North of Teichman Road and East of Vista Bella)** Request for a replat in order to increase the number of lots from one (1) to six (6). Property is legally described as Abstract 121, Hall & Jones Survey, Part of Reserve B (0-2), Ponticello Replat (2008), in the City and County of Galveston, Texas.

Applicant: John Paul Listowski

Property Owner: Listowski Hatmaker LP

Council Member and Ex-Officio John Paul Listowski recused himself citing a conflict of interest.

Chairperson Cate Black opened the public hearing on case 20P-032. Applicant John Paul Listowski presented to the Commission. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Chairperson Cate Black made a motion to approve case 20P-032 with staff's recommendations. Vice-Chairperson Jeffrey Hill seconded, and the following votes were cast:

In favor:	Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed:	None
Absent:	None
Non-voting participant:	CM John Paul Listowski (Ex-Officio)

**The motion passed.**

## **DISCUSSION AND ACTION ITEMS**

- Finalize Planning Commission Awards Recipients (Staff)

Chairperson Cate Black made a motion to select the following nominees as recipients of the 2020 Planning Commission Awards:

Beautification – Causeway Murals  
Development – Cedars at Carver Park & Villas on the Strand  
Environmental – Seeding Galveston  
Historic Preservation – 30<sup>th</sup> Street Pump Station  
Private Investment – Falstaff Brewery  
Public Investment – Market Street Sidewalk Improvements  
Participation – Vision Galveston  
Redevelopment – 2406 and 2410 Church, Emily's Home Building

Vice-Chairperson Jeffrey Hill seconded, and the following votes were cast:

In favor:	Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed:	None
Absent:	None
Non-voting participant:	CM John Paul Listowski (Ex-Officio)

**The motion passed.**

**THE MEETING ADJOURNED AT 6:21 PM**



**Property Owner Notifications**  
**Cases 20P-027 and 20P-028**

<b>Case 20P-027</b>				
<b>Property Owner Notices</b>				
<b>In Favor</b>	<b>Opposed</b>	<b>Comments</b>	<b>Associated Attachments</b>	<b>Within 200' Notification Area?</b>
	X	Earl & George Lyman (11219 N. Gafftoppers): We have families with children at our facilities. It would be dangerous	A	Yes
	X	Kenneth Graves (Lot 49, Gafftoppers Sub): N/A	B	Yes
	X	Matthew Mouton (Lot 50, Gafftoppers Sub): N/A	C	Yes
	X	Larry and Kenetha Isles (Lot 7, Gafftoppers Sub): See attached	D	Yes
	X	Robert Moody (11260 Stewart): Hello my name is Robert Moody Jr and I own treasure oaks LLC which is across the road . My understanding that their is a zoning request for 8 mile and Stewart rd to allow a drug and alcohol rehab center . I'm totally not in favor of this request as I think it could create big problems with theft and destruction of my property . I've had major issues before at a nother property that I owned as it relates to that subject matter.please consider the issue and think if that was next to your home and kids ? Thanks for your consideration.	E	Yes

<b>Case 20P-028</b>				
<b>Property Owner Notices</b>				
<b>In Favor</b>	<b>Opposed</b>	<b>Comments</b>	<b>Associated Attachments</b>	<b>Within 200' Notification Area?</b>
	X	Earl & George Lyman (11219 N Gafftoppers): This area should stay residential this area is a family subdivision	F	Yes
	X	Kenneth Graves (Lot 49, Gafftoppers Sub): N/A	G	Yes
	X	Larry Domingue (Lot 48, Gafftoppers Sub): This is a residential environment want to avoid drug [infestation]	H	Yes
	X	Matthew Mouton (Lot 50, Gafftoppers Sub): N/A	I	Yes
	X	Larry and Kenetha Isles (Lot 7, Gafftoppers Sub): I am opposed to this request as well. I see this as run around to get back to the first Substance Abuse Facility issue. If approved this property owner will be back 2-5 years from now. They will be stating the next time that the property has already been zoned for commercial use, thereby making it easy to transition to the Substance Abuse Facility again.	J	Yes

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		<b>PLEASE VOTE NO</b> to this request as well. This would not be progress.		
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**Totals**

**20P-027**

Notices returned: 5/23

In favor: 0/5

Opposed: 5/5

No comment: 0/5

**20P-028**

Notices returned: 5/23

In favor: 0/5

Opposed: 5/5

No comment: 0/5

**Public Comment**  
**Cases 20P-027 and 20P-028**

<b>Cases 20P-027 and 20P-028 Public Comment</b>				
<b>Public Comment</b>				
<b>In Favor</b>	<b>Opposed</b>	<b>Comments</b>	<b>Associated Attachments</b>	<b>Within 200' Notification Area?</b>
	X	Sandra & Ed Boughal (11205 Beard): I own a home in Sunny Beach and learned of a re-zoning meeting tomorrow at 3:30 PM to rezone this property from residential to commercial. As a property owner within a close proximity to that property I would have expected to receive a letter from the city concerning this re-zoning. I never received a letter from the city. If my information is correct, it seems that the applicant wants to turn this church property into a drug rehabilitation center. With Sunny Beach being a very popular beach access area as well as an extremely heavily frequented short-term rental area for families with many small children, under NO circumstances do we support the placement of a drug rehabilitation center in such close proximity to our area where so many families with young children spend time. Moreover, most of the homes in Sunny Beach are vacant through the off-season and are susceptible to burglary and vandalism during that time. We do not support this move to re-zone the property and hope the request will be rejected. At a minimum, we request that the city postpone this vote until more information is made available to us, the nearby homeowners. Please keep us updated on this matter.	K	No
	X	Eric Quinnell (11212 Bernice): Please postpone tomorrow's vote to rezone the church property. I have just been informed today about the plans for this rezoning to enable the building of a drug rehab center amongst our homes and I have grave concerns about having a drug rehab center in this area. As a homeowner and professional, I would like time to look at data regarding the size and type of patient population that would be served as well as the plans for increased traffic on our small roads. I would like to have a chance to see pertinent information. At this time, I do not see that the neighborhoods in this area or the city would benefit in any way by having a drug rehab center located amongst our family homes. I urge	L	No

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		the committee to deny the rezoning if the vote is brought up again.		
	X	Leslie Quinell (11212 Bernice): I am a homeowner in the Sunny Beach Residential neighborhood and I would like to ask that you postpone your vote on the zoning of the nearby church property so that we can provide you with more information regarding the impact that this rezoning will have on our neighborhood. We do not want to have a drug rehabilitation center with potentially relapsing drug addicts so close to our home where our children play outside and walk to the beach. In addition, my home also provides significant rental revenue to the city and my renters are attracted to my property primarily due to its quiet and safe residential status. We do not want this to change. Please consider that recovering addicts in a drug rehab center and family homes just do not mix safely. Furthermore, increased foot and car traffic will result in our area if rezoning takes place because recovering addicts need frequent public transportation which is not available in our area. We do not want dangerous loitering and hitchhiking to and from a rehab center. Thank you for your consideration--we firmly believe rezoning should not occur and that this owner can easily find a more suitable location to serve the drug rehab population.	M	No
	X	James Pitre (Lot 36, Gafftoppers Sub): I feel this project would further hamper the development of the Gafftopper subdivision of which I'm a land owner in said subdivision	N	No
	X	Janet King (11216 Bernice): I am a resident and homeowner in Sunny Beach and I am strongly against this redesignation of the church property near our neighborhood into a drug rehabilitation center and I ask that you postpone your vote tomorrow. As a retired, certified Clinical Nurse Specialist in Psychiatric and Mental Health with drug rehabilitation experience, I would like to attest that a drug rehabilitation center is not suitable for this residential neighborhood. Outpatients and clients undergoing drug rehab are often our most difficult patients in regards to high risk for relapse as well as anger management issues and other serious mental health illnesses. It is my personal experience that many of these patients will linger in and around the center and tend to mingle with nearby teenagers and children--- a vulnerable population to mix with recovering addicts.	O	No

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		<p>Furthermore, the church location is near beach home rentals which are often empty--again in my professional experience, this presents an attractive opportunity to the client who is relapsing and tempted to resort to burglary to fund his relapse. And the church property is just not rural, as I understand the owners are seeking. It is in a high pedestrian area where families with small children are often seen walking to and from the nearby beach. For these reasons, and others, the church property location is not in the best interest of the city, the nearby subdivision, or the Sunny Beach subdivision for a drug rehabilitation center with recovering and relapsing addicts. Please postpone your vote to rezone so that we can study this issue further and provide more information to you regarding safety and the loss of rental revenue due to the easily anticipated increase in neighborhood crime. We appreciate all of your time and work and I want to thank you in advance for taking our concerns under consideration.</p>		
	X	<p>Jesse Meason (11227 Bernice): I own a home in Sunny Beach. Today, I was made aware of a re-zoning meeting tomorrow at 3:30 PM to rezone this property from residential to commercial. I thought that all property owners within a close proximity to that property should have received a letter from the city concerning this re-zoning. I never received a letter from the city. I understand the applicant wants to turn this church property into a drug rehabilitation center. This is <u>NOT</u> favorable to the homeowners in Sunny Beach. The majority of the homes in Sunny Beach are owned by non-residents. The majority of these properties are short term rentals that rent to families with a lot with small children. These same homes are vacant through the off-season and are susceptible to burglary and vandalism during that time. I realize that some of my facts may be wrong because I have just heard about this today from a phone call from a neighbor that does not live in Sunny Beach. This is reason enough to at least POSTPONE your vote and to provide more specific information about the re-zoning to all Sunny Beach homeowners. Please.....provide more information to us before you vote!</p>	P	No
	X	<p>Lester Lee (11225 N Gafftoppers/3621 W Gafftoppers): This is a residential environment. On 61<sup>st</sup> where this type of facility is drug infested transients everywhere</p>	Q	No

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	X	Linda Martell (11212 S Gafftoppers): I did not receive notice from the city of the change to the said property to a commercial substance abuse facility. I OPPOSE the change and would like to be notified in the future of any proposed changes to any properties surrounding the property	R	No
	X	Logan Beene (11221 Bernice): As the owner of 11221 Bernice in Sunny Beach, I am adamantly opposed to any rezoning from residential to commercial the area referred to in the subject line. The Sunny Beach area is our escape, as well as our investment property. We have it managed as a rental property for vacationers. The values of our homes in the area will undoubtedly lower, our investment will be lost, and no one will want to take their children for a family week at the beach across the street from a drug rehab center. Do not ruin the property values and degrade the safety of our area.	S	No
	X	Mary Mabry (11227 Beard): I am a homeowner in Sunny Beach subdivision, a residential neighborhood at 3005 and 8 Mile Road. I understand that property at 3005 and Stewart Road, a former church, is under consideration for commercial zoning. I received notification of this today, from a neighbor, the day before the planning department is to consider this change, as I understand it. If I am in error, I apologize. Residents in Sunny Beach would almost certainly have the right to input on this important decision, but have been denied that by a lack of notification. I request a postponement of this matter, followed by a notification to all homeowners in the vicinity of the proposed change, and a mode and time period for input. This seems more fair and transparent.	T	No
	X	Nancy Magoto (Sunny Beach): I OWN A HOME IN Sunny Beach and highly oppose this being zoned for commercial property. A rehab would be detrimental to the surrounding residential areas. Please vote NO or at least postpone this meeting till all surrounding areas are informed	U	No
	X	André Morgan (Lot 35, Gafftoppers Sub): Please find attached my documentation as a response to the letter that was sent out in regards to proposed changes to the address mentioned above. I am associated with the Gafftoppers association and a property lot/land owner. Please vote "NO" to the rezoning request and "NO" to allow the construction of a Substance Abuse Facility.	V	No

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	X	Marilyn Murph (2803 Mayapan): I feel like that there was not enough neighborhood input regarding the proposed zoning change for the abandoned church building usage at 8 Mile Rd. This building is not even accessible by public transportation, therefore the Stewart Rd (added) traffic that filters down to a racetrack at that point will become even more dangerous. Also, I think the surrounding neighborhoods need more time to learn and discuss the potential effects of having a substance abuse center next door and safety concerns.	W	No
		Julia Cox (7519 Beaudelaire): Will this facility have drop in methadone treatment? How will the clients travel to and from the facility? Any security at this facility? Will clients be released without transportation?	X	No
	X	Diane Schlegel (12825 E Conquistador): The West End of Galveston does not need to house the criminals forced into rehab by the court system. This will increase crime in our area and allow access to those that do not live on the West End. Currently the West End has the lowest crime rate which will increase if such a facility is placed in our area. If Galveston Courts wish to create an Abuse Facility, let them place it in their own neighborhoods – do not create problems where none currently exist	Y	No
X		Gail Peterson (1814 Bayou Shore): I whole heartedly support the addition of a rehab facility to our Island. Even if I lived next door to it I would have no concerns. People there are sick. People there are trying to be well. People there want to go home. Hopefully it will be supported and welcomed.	Z	No
X		Judith Flisram (1628 Ave N ½): This is great news. Galveston needs facilities like these. People need to look at all the facilities in Florida. Good for people needing treatment and provides jobs. Thank you  Hello , not sure if my opinion matters as I do not live in the west area this is being proposed, however; Galveston needs a substance use disorder program desperately. State funded and privately owned. Just look at the people on the streets at night! People move to the west end because they dont want to see it, however; it could be their lived one next who needs it. Facilities are in the richest and nicest neighborhoods in CA, FL, it's time for the gulf and Galveston to become a recovery Mecca	AA	No

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X		Georgia Nelson (4728 Crockett): I'm writing to expres my support of the proposed Substance Abuse Facility on Stewart Rd. There is a tremendous need for such a facility in Galveston. When people ask for help normally all of the beds in the area are full and they are placed on a waiting list. Adding additional beds to an overcrowded system, will allow more people to receive help. I've seen comments on social media expressing concern about increased crime because of the facility. These concerns are not supported by research.	AB	No
	X	Carolyn Gaido & Jon Eversberg (Address unknown): It has come to our attention that an application has been submitted to change the use of a certain property located at the corner of Eight Mile Road and Stewart Road. As property owners nearby we are interested in learning more about the proposed new use. We understand the proposal for the change of use is coming before City Planning today. We are requesting that a decision as to the change of use of this property be postponed to a future date so that the proposal can be properly presented to the neighboring property owners. It is an usually difficult time for all of us with tropical storm Beta as well as a worldwide Covid-19 pandemic currently in effect.	AC	No
	X	Liz Rogers Alvarado (10213 Stewart): I would like to submit a public comment for today's Planning Commission meeting regarding <b>agenda items 20P-027 and 20P-028 for the property located at 11279 Stewart Road</b> . As a homeowner on adjacent property located at 10213 Stewart Road, <b>we do not</b> support the requested change of zoning from Residential to Commercial. This entire area is residential with homes, kids, runners, dog-walkers and we sit across from Campeche Cove - this zoning change would set a precedence for other changes to occur and would open the door for any commercial entity to sit on this property - which would affect not only property values, but the community as a whole.	AD	
	X	Emily Cooke (Address unknown): I am a resident very close to the request for rezoning to commercial to put a drug rehab facility next to our home where a church currently is. I am completely NOT in support of this as the high volume traffic is a disruption to our family life and has been an issue with noise ordinance in the past. Putting a rehab facility next to our homes would increase the risk of crime and invasions of privacy.	AE	No

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	X	Steve Voinis (11322 Sportsman): I am adamantly opposed to locating the proposed Substance Abuse Facility on the former church site on 8 Mile Road. My home is nearby on Sportsman Road which is a special place and joy for me and my wife, 5 children and 9 grandchildren. I fear that this proposed facility, located at the entrance of our peaceful Sportsman Road Community, would introduce risk and safety concerns to our family neighborhood. The damaging impact to Sportsman and other neighboring communities will be severe	AF	No
	X	Matt & Sara Hawkes (11516 Sportsman): We are not happy with the proposed location for the substance abuse facility off 8 mile road. We live off of 8 mile road off of Sportsman Road. We are full time residents, but there are many that are not full time residents on our road. I think having this facility here will lead to people walking or driving through our neighborhoods that normally wouldn't be over here. I feel this facility so close to residents will lead to increased crime.	AG	No
	X	Mary Ann Loweth (31 E Briar Hollow Ln, Houston, TX): Along with my siblings, we own a home on Sportsman Road. My father bought the property close to 60 years ago and we re-built a home after Ike destroyed the original home. We've just learned that a rehab facility is proposed at an abandoned church located at 8 Mike Road & Stewart Road. We want to voice STRONG OPPOSITION to this facility. Our children and grandchildren visit often and we do NOT want the facility near us.	AH	No
	X	Krissi Reid (11042 Sportsman): I own a home at Sportsman & 8 mile road for 15 years, our property tax has increased at an alarming rate, it's ok w clean up of our area as it continues to improve. Adding a commercial facility that serves as a drug rehab center a few miles from my home is not an improvement. I do not agree for many reasons I am against Change in zoning I am against the Drug Rehab facility	AI	No
	X	James Pozzi (11802 Sportsman): My wife and I are opposed to this zoning change. It is also not a good location due to the flooding that occurs in our area as seen hte last several days with Beta.	AJ	No
	X	Keith McFatridge Jr (11822 Sportsman): I am opposed to this permit use change. I did not receive notice.  I am opposed to both of the following 1. Change in zoning request and	AK	No

**City Council**

Planning & Development Division

City of Galveston

September 24, 2020

		2. Approval of the drug rehab facility 11822 sportsman Road is my property.		
	X	Denise Campbell (11706 Sportsman): We are not in favor of changing zoning on 8 mile road and we are not in favor of a drug rehab facility on 8 mile road.  We are opposed to changing zoning for an 8 mile road drug rehab.	AL	No
	X	Wade Kilpatrick (1704 S Congress Ave, Ste K, Austin, TX): We oppose the application for issuance of a Specific Use Permit to operate a "Substance Abuse Facility" at 11279 Stewart Road. The adjacent land is zoned RES/REC or TN. The Sweetwater Cove development and the ongoing expansion of Beachside Village area indicative of the quality of development occurring in this growth corridor. The proposed use would negatively impact these developments and deter similar high-quality developments in the future. Furthermore, it conflicts with COG's zoning plan.	AM	No
	X	Tracy Lovoi (900 Hogan, Houston, TX): This area is far to residential and tourist heavy for a facility of this nature. That building is very delapidated and would need millions of dollars of renovations. Surely there is a more remote area this facility could be built for less cost. We are opposed to any such facility at that location.	AN	No
	X	Rocky Sullivan (11131 Homrighaus): See attached	AO	No
	X	Richard Krumholz (Address unknown): I have been a Resident and property owner on Sportsman Road for the past thirty years. I am strongly against the proposed Drug Rehab center on 8 Mile Road. This residential area is not the place for this type of facility. As we have recently (today) experienced this area and building is Highly susceptible to Flooding both by rain and storm surge. I watched this structure being built with portions being "underground" and have heard that it has structural issues due to being "underground" as well as health issues. This is not an exceptible location for this type of Facility!!  Thank you in advance for declining a permit for such use.	AP	No

**Totals**

**Public Comment**

Received: 32  
 In favor: 3/32  
 Opposed: 28/32  
 No comment: 1/32



# City of Galveston

DEVELOPMENT SERVICES  
823 Rosenberg, Rm 401 | Galveston, TX 77550  
planningcounter@galvestontx.gov | 409-797-3660

## NOTICE OF PUBLIC HEARING REGULAR MEETING

Notice is hereby given that on September 22, 2020, at 3:30 p.m., a Public Hearing will be held by the **PLANNING COMMISSION** on the following request, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas:

### CITY COUNCIL HAS FINAL DECISION-MAKING AUTHORITY REGARDING THIS CASE

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**20P-027 (11279 Stewart Road)** Request for a Specific Use Permit to operate a "Substance Abuse Facility." Property is legally described as the Northeast part of Lot 39 (39-1), Trimble and Lindsey, Section 2, in the City and County of Galveston, Texas.  
Applicant: Edward Jackson  
Property Owner: Veco V. Delagardie

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Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan

- I am in favor
- I am opposed
- I have no comment

20P-027  
September 22, 2020/October 22, 2020

COMMENTS:

WE HAVE families with children at our facilities. It would be dangerous

Earl C. Lyman Jr.  
Signature of Property Owner

Earl C. Lyman Jr.  
Printed Name

11219 N. Galtoppers  
Address of property within notification area

[REDACTED]  
\*Contact Phone Number

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# City of Galveston

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**Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan**

- I am in favor
- I am opposed
- I have no comment

**20P-027  
September 22, 2020/October 22, 2020**

**COMMENTS:**

Kenneth Graves  
Signature of Property Owner

Kenneth Graves  
Printed Name

121 Hall & Jones Sur Lot 49  
Gaff Tappers SUB  
Address of property within notification area

[REDACTED]  
\*Contact Phone Number

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# City of Galveston

DEVELOPMENT SERVICES  
823 Rosenberg, Rm 401 | Galveston, TX 77550  
planningcounter@galvestontx.gov | 409-797-3660

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Property Owner: Veco V. Delagardie

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Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan

- I am in favor
- I am opposed
- I have no comment

20P-027  
September 22, 2020/October 22, 2020

### COMMENTS:

Matthew Monton  
Signature of Property Owner

ABST 121 Page 64 Lot 50 Geff Tappers Sub.  
Address of property within notification area

Matthew Monton  
Printed Name

[REDACTED]  
\*Contact Phone Number

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**Karen White**

---

**From:** Janelle Williams  
**Sent:** Tuesday, September 22, 2020 8:14 AM  
**To:** Catherine Gorman; Karen White  
**Subject:** FW: Substance Abuse Center: Notice : 20P-027 (11279 Stewart Road) and Commercial Property Designation 20P-028 (11279 Stewart Road)

Forwarding this message that was sent to Dr. Cole.

Thanks,  
 Janelle

---

**From:** Jackie Cole <JackieCole@GalvestonTX.Gov>  
**Sent:** Monday, September 21, 2020 5:04 PM  
**To:** Janelle Williams <JWilliams@GalvestonTX.Gov>  
**Subject:** Fwd: Substance Abuse Center: Notice : 20P-027 (11279 Stewart Road) and Commercial Property Designation 20P-028 (11279 Stewart Road)

Please forward this to planning commission- not sure if he is in 200 ft notice area.

Begin forwarded message:

**From:** Kenni <[REDACTED]>  
**Subject:** [EXTERNAL] Substance Abuse Center: Notice : 20P-027 (11279 Stewart Road) and Commercial Property Designation 20P-028 (11279 Stewart Road)  
**Date:** September 21, 2020 at 4:45:01 PM CDT  
**To:** "[JackieCole@galvestontx.gov](mailto:JackieCole@galvestontx.gov)" <[JackieCole@galvestontx.gov](mailto:JackieCole@galvestontx.gov)>  
**Reply-To:** Kenni <[REDACTED]>

Dear Council Woman Cole,

**20P-027**

I just wanted to send you an email to express my 100% opposition to a proposed Substance Abuse Facility being located a fence hop away from my property in the Gafftopper's Residential Sub-Division. My Family (Wife and Grand Kids) currently enjoy the our property the way it was intended to be along with other property owners. Our families run and play freely and we have never had to worry about safety issues until now.

If this is approved we will have to watch very closely all of the activities on the other side of the fence. If this facility is placed in our neighborhood it will place at my door steps Drug addicts and other undesirable elements.

I value my family's safety and peace of mind. I am sure that you would not like to have a facility such as this adjacent to you house. Your children and maybe grandchildren would no longer be able to enjoy your place like they are accustom.

**PLEASE VOTE NO** to this request. I really don't want my family to be part of an experiment that could end up hurting our quiet and peaceful family community.

**20P-028**

I am opposed to this request as well. I see this as run around to get back to the first Substance Abuse Facility issue. If approved this property owner will be back 2-5 years from now. They will be stating the next time that the property has already been zoned for commercial use, thereby making it easy to transition to the Substance Abuse Facility again.

**PLEASE VOTE NO** to this request as well. This would not be progress.

Thanks for considering my wife and I thoughts on this matter,

Sincerely,

Larry Isles and Kenetha Isles  
Property owners in the Gafftopper's Sub-Division  
ABST 121 Hall & Jones Sur Lot 7 Gafftoppers SUB

**Karen White**

---

**From:** Bobby Moody <bobbym@moodygroup.com>  
**Sent:** Tuesday, September 22, 2020 9:41 AM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] Rehab center on 8 mile and Stewart rd

Hello my name is Robert Moody Jr and I own treasure oaks LLC which is across the road . My understanding that their is a zoning request for 8 mile and Stewart rd to allow a drug and alcohol rehab center . I'm totally not in favor of this request as I think it could create big problems with theft and destruction of my property . I've had major issues before at another property that I owned as it relates to that subject matter.please consider the issue and think if that was next to your home and kids ? Thanks for your consideration. Robert Moody Jr

Sent from my iPhone



# City of Galveston

DEVELOPMENT SERVICES  
823 Rosenberg, Rm 401 | Galveston, TX 77550  
planningcounter@galvestontx.gov | 409-797-3660

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**20P-028 (11279 Stewart Road)** Request for a partial change of zoning from Residential, Single-Family, Height and Density Development Zone, Zone 6 (R-1-HDDZ-6) to a Commercial, Height and Density Development Zone, Zone 6 (C-HDDZ-6) zoning district. Property is legally described as the Northeast part of Lot 39 (39-1), Trimble and Lindsey, Section 2, in the City and County of Galveston, Texas.

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Property Owner: Veco V. Delagardie

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Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan

- I am in favor
- I am opposed
- I have no comment

20P-028  
September 22, 2020/October 22, 2020

COMMENTS:

This area should stay residential this area is a family subdivision

Earl C. Lyman Jr.  
Signature of Property Owner

Earl C. Lyman Jr.  
Printed Name

11219 N. Gatttoppers.  
Address of property within notification area

[Redacted]  
\*Contact Phone Number

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PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan**

- I am in favor
- I am opposed
- I have no comment

**20P-028  
September 22, 2020/October 22, 2020**

### COMMENTS:

Kenneth Graves  
Signature of Property Owner

Kenneth Graves  
Printed Name

121 Hall & Jones Sur Lot 49  
G A F Toppers SUB  
Address of property within notification area

[REDACTED]  
\*Contact Phone Number

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# City of Galveston

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Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan

- I am in favor
- I am opposed
- I have no comment

20P-028  
September 22, 2020/October 22, 2020

#### COMMENTS:

This is a residential environment want to avoid drug infect

Larry J. Domingue  
Signature of Property Owner  
Larry J Domingue  
Printed Name

11219 N. Gafftopper Galveston TX  
Address of property within notification area  
77554  
\*Contact Phone Number

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Notice is hereby given that on September 22, 2020, at 3:30 p.m., a Public Hearing will be held by the **PLANNING COMMISSION** on the following request, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas.

### CITY COUNCIL HAS FINAL DECISION-MAKING AUTHORITY REGARDING THIS CASE

Notice is hereby given that on October 22, 2020, at 1:15 p.m., a Public Hearing will be held by **CITY COUNCIL**, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas.

**Z0P-028 (11279 Stewart Road)** Request for a partial change of zoning from Residential, Single-Family, Height and Density Development Zone, Zone 6 (R-1-HDDZ-6) to a Commercial, Height and Density Development Zone, Zone 6 (C-HDDZ-6) zoning district. Property is legally described as the Northeast part of Lot 39 (39-1), Trimble and Lindsey, Section 2, in the City and County of Galveston, Texas.

Requester: Robert Jackson  
Attorney: Ernest John J. DeBuzard

In order to enhance the public health goal of limiting face-to-face meetings (also called "social distancing") to slow the spread of the Coronavirus (COVID-19), the meeting will be held by teleconference and there will be no public access to the location described above. The public may view the meeting on Channel 35, listed on GTV at galvestontx.gov, or Facebook Live.

Because you own property in the vicinity of the subject property, the City of Galveston invites you to attend the meetings and/or share your opinion by returning this form. Prior to the meeting date, you may mail the comment form to the address below, deliver it in person, or scan and e-mail to [planningcenter@galvestontx.gov](mailto:planningcenter@galvestontx.gov). The Commission and Council will be informed of the number of responses in support and opposition. Do not duplicate. Only one notice per property will be accepted. Public Comment can also be submitted on-line: <https://forms.galvestontx.gov/Forms/PublicComment>.

A detailed staff report will be posted online at least 72 hours before the meeting. You may view the staff report by visiting <https://galvestontx.gov/agendacenter> and selecting the meeting date under "Landmark Commission."

If you have any questions regarding this notice, please contact our office at (409) 797-3660 and ask to speak to the staff member indicated below.

Para preguntas o mayor información en español, comuníquese con el Departamento de Planificación de la Ciudad de Galveston al (409) 797-3645.

Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan

- I am in favor
- I am opposed
- I have no comment

Z0P-028  
September 22, 2020/October 22, 2020

### COMMENTS:

Matthew Mouton  
Signature of Property Owner

Matthew Mouton  
Printed Name

ABST 121 Page 64 Lot 50 *Goff Toppers sub*  
Address of property within notification area

\_\_\_\_\_  
\*Contact Phone Number

\*Please be advised that all comments received, are subject to the Texas Public Information Act. However, the contact phone number is to be used by Planning Staff only. You may be contacted regarding additional information and/or changes in meeting dates.

Please note local and state law requires that written notice of a public hearing shall be sent to each owner, as indicated by the most recently approved municipal tax roll. It is possible for property ownership to change as notices are generated. The City of Galveston will accept any notification of property owner changes in our offices for correction with regard to legal notice of planning and zoning cases.



**Karen White**

---

**From:** Janelle Williams  
**Sent:** Tuesday, September 22, 2020 8:14 AM  
**To:** Catherine Gorman; Karen White  
**Subject:** FW: Substance Abuse Center: Notice : 20P-027 (11279 Stewart Road) and Commercial Property Designation 20P-028 (11279 Stewart Road)

Forwarding this message that was sent to Dr. Cole.

Thanks,  
 Janelle

---

**From:** Jackie Cole <JackieCole@GalvestonTX.Gov>  
**Sent:** Monday, September 21, 2020 5:04 PM  
**To:** Janelle Williams <JWilliams@GalvestonTX.Gov>  
**Subject:** Fwd: Substance Abuse Center: Notice : 20P-027 (11279 Stewart Road) and Commercial Property Designation 20P-028 (11279 Stewart Road)

Please forward this to planning commission- not sure if he is in 200 ft notice area.

Begin forwarded message:

**From:** Kenni <[REDACTED].com>  
**Subject:** [EXTERNAL] Substance Abuse Center: Notice : 20P-027 (11279 Stewart Road) and Commercial Property Designation 20P-028 (11279 Stewart Road)  
**Date:** September 21, 2020 at 4:45:01 PM CDT  
**To:** "JackieCole@galvestontx.gov" <JackieCole@galvestontx.gov>  
**Reply-To:** Kenni <[REDACTED]>

Dear Council Woman Cole,

**20P-027**

I just wanted to send you an email to express my 100% opposition to a proposed Substance Abuse Facility being located a fence hop away from my property in the Gafftopper's Residential Sub-Division. My Family (Wife and Grand Kids) currently enjoy the our property the way it was intended to be along with other property owners. Our families run and play freely and we have never had to worry about safety issues until now.

If this is approved we will have to watch very closely all of the activities on the other side of the fence. If this facility is placed in our neighborhood it will place at my door steps Drug addicts and other undesirable elements.

I value my family's safety and peace of mind. I am sure that you would not like to have a facility such as this adjacent to you house. Your children and maybe grandchildren would no longer be able to enjoy your place like they are accustom.

**PLEASE VOTE NO** to this request. I really don't want my family to be part of an experiment that could end up hurting our quiet and peaceful family community.

**20P-028**

I am opposed to this request as well. I see this as run around to get back to the first Substance Abuse Facility issue. If approved this property owner will be back 2-5 years from now. They will be stating the next time that the property has already been zoned for commercial use, thereby making it easy to transition to the Substance Abuse Facility again.

**PLEASE VOTE NO** to this request as well. This would not be progress.

Thanks for considering my wife and I thoughts on this matter,

Sincerely,

Larry Isles and Kenetha Isles  
Property owners in the Gafftopper's Sub-Division  
ABST 121 Hall & Jones Sur Lot 7 Gafftoppers SUB

**Karen White**

---

**From:** Boughal Home [REDACTED] com>  
**Sent:** Monday, September 21, 2020 2:22 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 20P-028 (11279 Stewart Road)

Dear Planning Department:

I own a home in Sunny Beach and learned of a re-zoning meeting tomorrow at 3:30 PM to rezone this property from residential to commercial. As a property owner within a close proximity to that property I would have expected to receive a letter from the city concerning this re-zoning. I never received a letter from the city.

If my information is correct, it seems that the applicant wants to turn this church property into a drug rehabilitation center. With Sunny Beach being a very popular beach access area as well as an extremely heavily frequented short-term rental area for families with many small children, under NO circumstances do we support the placement of a drug rehabilitation center in such close proximity to our area where so many families with young children spend time.

Moreover, most of the homes in Sunny Beach are vacant through the off-season and are susceptible to burglary and vandalism during that time. We do not support this move to re-zone the property and hope the request will be rejected.

At a minimum, we request that the city postpone this vote until more information is made available to us, the nearby homeowners.

Please keep us updated on this matter.

Sandra & Ed Boughal  
Sunny Beach Homeowners

**Karen White**

---

**From:** Leslie Quinnell [REDACTED] >  
**Sent:** Monday, September 21, 2020 6:00 PM  
**To:** Planning Counter  
**Subject:** Re: the rezoning of the church property near Sunny Beach

To whom it may concern,

Please postpone tomorrow's vote to rezone the church property. I have just been informed today about the plans for this rezoning to enable the building of a drug rehab center amongst our homes and I have grave concerns about having a drug rehab center in this area.

As a homeowner and professional, I would like time to look at data regarding the size and type of patient population that would be served as well as the plans for increased traffic on our small roads. I would like to have a chance to see pertinent information.

At this time, I do not see that the neighborhoods in this area or the city would benefit in any way by having a drug rehab center located amongst our family homes. I urge the committee to deny the rezoning if the vote is brought up again.

Thank you.

Sincerely,

Dr. Eric Quinnell  
11212 Bernice Drive  
Galveston, Texas 77554

**Karen White**

---

**From:** Leslie Quinnell <[REDACTED]>  
**Sent:** Monday, September 21, 2020 3:29 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] Urgent: Sunny beach rezoning meeting

Dear committee:

I am a homeowner in the Sunny Beach Residential neighborhood and I would like to ask that you postpone your vote on the zoning of the nearby church property so that we can provide you with more information regarding the impact that this rezoning will have on our neighborhood.

We do not want to have a drug rehabilitation center with potentially relapsing drug addicts so close to our home where our children play outside and walk to the beach. In addition, my home also provides significant rental revenue to the city and my renters are attracted to my property primarily due to its quiet and safe residential status. We do not want this to change.

Please consider that recovering addicts in a drug rehab center and family homes just do not mix safely. Furthermore, increased foot and car traffic will result in our area if rezoning takes place because recovering addicts need frequent public transportation which is not available in our area. We do not want dangerous loitering and hitchhiking to and from a rehab center.

Thank you for your consideration--we firmly believe rezoning should not occur and that this owner can easily find a more suitable location to serve the drug rehab population.

Sincerely,  
Leslie Quinnell  
11212 Bernice Drive  
Galveston, Texas 77554

**Karen White**

---

**From:** [REDACTED]  
**Sent:** Monday, September 21, 2020 12:31 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 2OP-028 (11279 Stewart Road)  
**Attachments:** 20200921\_092613.jpg

To whom it may concern:

I'm writing to acknowledge my position on the proposed zoning change and the building of a Rehabilitation facility. I was not able to print and sign. I hope this email is suffice to acknowledge my position.

I am opposed:

Comments:

I feel this project would further hamper the development of the Gafftopper subdivision of which I'm a land owner in said subdivision.

Signature of Property Owner: James L. Pitre

Address of property within notification area: ABST 121 HALL & JONES SUT LOT 36 GAFFTOPPERS SUB

Contact Phone Number:  
713-256-3838

Thank you,  
James L. Pitre

**Karen White**

---

**From:** Janet King <[REDACTED]>  
**Sent:** Monday, September 21, 2020 2:44 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] Re-zoning meeting tomorrow

Dear Sir/Madam,

I am a resident and homeowner in Sunny Beach and I am strongly against this redesignation of the church property near our neighborhood into a drug rehabilitation center and I ask that you postpone your vote tomorrow.

As a retired, certified Clinical Nurse Specialist in Psychiatric and Mental Health with drug rehabilitation experience, I would like to attest that a drug rehabilitation center is not suitable for this residential neighborhood. Outpatients and clients undergoing drug rehab are often our most difficult patients in regards to high risk for relapse as well as anger management issues and other serious mental health illnesses. It is my personal experience that many of these patients will linger in and around the center and tend to mingle with nearby teenagers and children--- a vulnerable population to mix with recovering addicts. Furthermore, the church location is near beach home rentals which are often empty--again in my professional experience, this presents an attractive opportunity to the client who is relapsing and tempted to resort to burglary to fund his relapse. And the church property is just not rural, as I understand the owners are seeking. It is in a high pedestrian area where families with small children are often seen walking to and from the nearby beach. For these reasons, and others, the church property location is not in the best interest of the city, the nearby subdivision, or the Sunny Beach subdivision for a drug rehabilitation center with recovering and relapsing addicts.

Please postpone your vote to rezone so that we can study this issue further and provide more information to you regarding safety and the loss of rental revenue due to the easily anticipated increase in neighborhood crime. We appreciate all of your time and work and I want to thank you in advance for taking our concerns under consideration.

Sincerely,  
Janet King, RN, MA  
11216 Bernice Drive  
Galveston, Texas 77554  
713-480-7703

**Karen White**

---

**From:** Jesse Meason <[REDACTED]>  
**Sent:** Monday, September 21, 2020 6:06 PM  
**To:** Planning Counter  
**Subject:** 20P-028 (11279 Stewart Road Rezoning).docx  
**Attachments:** 20P-028 (11279 Stewart Road Rezoning).docx

Dear Planning Department:

I own a home in Sunny Beach. Today, I was made aware of a re-zoning meeting tomorrow at 3:30 PM to rezone this property from residential to commercial. I thought that all property owners within a close proximity to that property should have received a letter from the city concerning this re-zoning. I never received a letter from the city.

I understand the applicant wants to turn this church property into a drug rehabilitation center. This is NOT favorable to the homeowners in Sunny Beach. The majority of the homes in Sunny Beach are owned by non-residents. The majority of these properties are short term rentals that rent to families with a lot with small children. These same homes are vacant through the off-season and are susceptible to burglary and vandalism during that time.

I realize that some of my facts may be wrong because I have just heard about this today from a phone call from a neighbor that does not live in Sunny Beach. This is reason enough to at least POSTPONE your vote and to provide more specific information about the re-zoning to all Sunny Beach homeowners.

Please.....provide more information to us before you vote!

Regards,

Jesse Meason  
11227 Bernice Drive  
Galveston, TX 77554  
214-477-6373



# City of Galveston

DEVELOPMENT SERVICES  
823 Rosenberg, Rm 401 | Galveston, TX 77550  
planningcounter@galvestontx.gov | 409-797-3660

## NOTICE OF PUBLIC HEARING REGULAR MEETING

Notice is hereby given that on September 22, 2020, at 3:30 p.m., a Public Hearing will be held by the PLANNING COMMISSION on the following request, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas:

### CITY COUNCIL HAS FINAL DECISION-MAKING AUTHORITY REGARDING THIS CASE

Notice is hereby given that on October 22, 2020, at 1:15 p.m., a Public Hearing will be held by CITY COUNCIL, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas:

**20P-028 (11279 Stewart Road)** Request for a partial change of zoning from Residential, Single-Family, Height and Density Development Zone, Zone 6 (R-1-HDDZ-6) to a Commercial, Height and Density Development Zone, Zone 6 (C-HDDZ-6) zoning district. Property is legally described as the Northeast part of Lot 39 (39-1), Trimble and Lindsey, Section 2, in the City and County of Galveston, Texas.

Applicant: Edward Jackson

Property Owner: Veco V. Delagardie

In order to advance the public health goal of limiting face-to-face meetings (also called "social distancing") to slow the spread of the Coronavirus (COVID-19), the meeting will be held by videoconference and there will be no public access to the location described above. The public may view the meeting on Channel 16, online on GTV at galvestontx.gov, or Facebook Live.

Because you own property in the vicinity of the subject property, the City of Galveston invites you to attend the meetings and/or share your opinion by returning this form. Prior to the meeting date, you may mail the comment form to the address below, deliver it in person, or scan and e-mail to planningcounter@galvestontx.gov. The Commission and Council will be informed of the number of responses in support and opposition. Do not duplicate. Only one notice per property will be accepted. Public Comment can also be submitted on-line: <https://forms.galvestontx.gov/Forms/PublicComment>.

A detailed staff report will be posted online at least 72 hours before the meeting. You may view the staff report by visiting <https://galvestontx.gov/agendacenter> and selecting the meeting date under "Landmark Commission."

If you have any questions regarding this notice, please contact our office at (409) 797-3660 and ask to speak to the staff member indicated below.

Para preguntas o mayor información en español, comuníquese con el Departamento de Planificación de la Ciudad de Galveston al (409) 797-3645.

Planning and Development Division  
PO Box 779 (823 Rosenberg Room 401)  
Galveston, Texas 77553-0934  
Attn: Adriel Montalvan

- I am in favor
- I am opposed
- I have no comment

20P-028  
September 22, 2020/October 22, 2020

COMMENTS: This is a residential environment. On 61<sup>st</sup> where this type of facility is. Drug infested + transients everywhere

*Lester M. Lee*  
Signature of Property Owner

Lester M. Lee  
Printed Name

11225 N. Gofftoppers, 3621 W. Gofftopper  
Address of property within notification area

[Redacted]  
\*Contact Phone Number

\*Please be advised that any and all comments received, are subject to the Texas Public Information Act. However, the contact phone number is to be used by Planning Staff only. You may be contacted regarding additional information and/or changes in meeting dates.

Please note local and state law requires that written notice of a public hearing shall be sent to each owner, as indicated by the most recently approved municipal tax roll. It is possible for property ownership to change as notices are generated. The City of Galveston will accept any notification of property owner changes in our offices for correction with regard to legal notice of planning and zoning cases.



**Karen White**

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**From:** Linda M <[REDACTED]>  
**Sent:** Monday, September 21, 2020 5:36 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 20P-028 (11279 Stewart Rd)

I live at 11212 S Gafftoppers, Galveston, TX 77554. I did not receive notice from the city of the change to the said property to a commercial substance abuse facility.

I OPPOSE the change and would like to be notified in the future of any proposed changes to any properties surrounding the property.

Thank you,

Linda Martell  
832-640-6422

**Karen White**

---

**From:** D. Logan Beene DVM <[REDACTED]>  
**Sent:** Monday, September 21, 2020 7:41 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 20P-028 (11279 Stewart Road).

To whom it may concern,

As the owner of 11221 Bernice in Sunny Beach, I am adamantly opposed to any rezoning from residential to commercial the area referred to in the subject line.

The Sunny Beach area is our escape, as well as our investment property. We have it managed as a rental property for vacationers.

The values of our homes in the area will undoubtedly lower, our investment will be lost, and no one will want to take their children for a family week at the beach across the street from a drug rehab center.

Do not ruin the property values and degrade the safety of our area.

D. Logan Beene DVM  
Owner, Crossroads Veterinary Hospital  
1101 S. FM 116  
Copperas Cove, TX 76522  
O: 254 542-8700  
C: 254 289-3791  
Crossroadsvethospital.com

**Karen White**

---

**From:** Mary Mabry <[REDACTED]>  
**Sent:** Monday, September 21, 2020 6:26 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 20P-028 (11279 Stewart Road)

To the Planning Department:

I am a homeowner in Sunny Beach subdivision, a residential neighborhood at 3005 and 8 Mile Road. I understand that property at 3005 and Stewart Road, a former church, is under consideration for commercial zoning. I received notification of this today, from a neighbor, the day before the planning department is to consider this change, as I understand it.  
If I am in error, I apologize.

Residents in Sunny Beach would almost certainly have the right to input on this important decision, but have been denied that by a lack of notification.  
I request a postponement of this matter, followed by a notification to all homeowners in the vicinity of the proposed change, and a mode and time period for input.  
This seems more fair and transparent.

Most sincerely,

Woodrow and Mary Mabry  
11227 Beard  
Sunny Beach, Galveston

**Karen White**

---

**From:** Nancy Magoto <nancy@marbletilecollection.com>  
**Sent:** Monday, September 21, 2020 2:33 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 2OP-028 ( 11279 STEWART ROAD)

I OWN A HOME IN Sunny Beach and highly oppose this being zoned for commercial property. A rehab would be detrimental to the surrounding residential areas. Please vote NO or at least postpone this meeting till all surrounding areas are informed.

Thank you

**Nancy C. Magoto**

President  
Poolside Tile/ Marble & Tile Collection  
7051 Portwest Drive Ste 180  
Houston, Texas 77024  
Showroom/Warehouse 713 8509595  
Cell 281-3303707

*“For that something different yet timeless look”*

**Karen White**

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**From:** Janelle Williams  
**Sent:** Tuesday, September 22, 2020 8:14 AM  
**To:** Catherine Gorman; Karen White  
**Subject:** FW: Changing Zonng (11279 Stewart Road) 20P-028  
**Attachments:** scan.pdf

Another message sent to Dr. Cole.

We have also received some public comments through the electronic form.

---

**From:** Jackie Cole <JackieCole@GalvestonTX.Gov>  
**Sent:** Monday, September 21, 2020 5:10 PM  
**To:** Janelle Williams <JWilliams@GalvestonTX.Gov>  
**Subject:** Fwd: Changing Zonng (11279 Stewart Road) 20P-028

Again- please forward to planning- I don't know if they are sending it in or just contacting me. Thanks,Jackie

Begin forwarded message:

**From:** APC Morgan <[REDACTED].com>  
**Subject:** [EXTERNAL] Changing Zonng (11279 Stewart Road) 20P-028  
**Date:** September 21, 2020 at 4:39:16 PM CDT  
**To:** <jackiecole@galvestontx.gov>

Council Member Cole,

Please find attached my documentation as a response to the letter that was sent out in regards to proposed changes to the address mentioned above. I am associated with the Gafftoppers association and a property lot/land owner.

**Please vote "NO" to the rezoning request and "NO" to allow the construction of a Substance Abuse Facility.**

The letter reflects my vote as well. I am including my contact information because my scanned copy didn't come through as clearly as possible.

Thank you in advance for your attention to this matter.

Andre' Morgan  
713-443-6369



# City of Galveston

DEVELOPMENT SERVICES  
823 Rosenberg, Rm 401 | Galveston, TX 77550  
planningcounter@galvestontx.gov | (409) 797-3660

## NOTICE OF PUBLIC HEARING Request 2020-001

Public hearings will be held on September 22, 2020, at 3:00 p.m. a Public Hearing will be held by the PLANNING COMMISSION on the following request, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas:

### CITY COUNCIL HAS FINAL DECISION REGARDING A MATTER REGARDING THIS CASE

Public hearings will be held on September 22, 2020, at 3:00 p.m. a Public Hearing will be held by CITY COUNCIL, in City Council Chambers, Second Floor of City Hall, 823 Rosenberg, in the City of Galveston, Texas.

Case No. 2020-0017, subject to a request for a change in zoning classification, from Single-Family Residential to Single-Family Residential, Property is legally described as Lot 10, Block 10, Galveston Golf and Country Club, Section 3 in the City and County of Galveston, Texas.  
Applicant: Christy Johnson  
Property Owner: Scott M. Davidson

In order to advance the public health goal of holding face-to-face meetings (also called "social distancing") to slow the spread of the Coronavirus (COVID-19), the meeting will be held by videoconference and there will be no public access to the location described above. The public may view the meeting on Channel 16, online on GTV at galvestontv.gov, or Facebook Live.

Because you own property in the vicinity of the subject property, the City of Galveston invites you to attend the meetings and/or share your opinion by returning this form. Prior to the meeting date, you may mail the comments form to the address above, deliver it in person, or scan and e-mail to [planningcounter@galvestontx.gov](mailto:planningcounter@galvestontx.gov). The Commission and Council will be informed of the number of comments in support and opposition. Do not duplicate. Only one notice per property will be accepted. Public Comments can also be submitted online, <https://www.galvestontx.gov/Forms/PublicComment>.

A detailed staff report will be posted online at least 72 hours before the meeting. You may view the staff report by visiting <https://galvestontx.gov/agendacenter> and selecting the meeting date under "Agenda/Commission Meetings".

If you have any questions regarding this notice, please contact our office at (409) 797-3660 and use extension 3000 and member indicated below.

Para preguntas o mayor información en español, comuníquese con el Departamento de Planeamiento y Desarrollo Urbano al (409) 797-3645.

Planning and Development Division  
PO Box 779 | 823 Rosenberg, Room 401  
Galveston, Texas 77550-0779  
Attn: Andrea Morgan

- I am in favor
- I am opposed
- I have no comment

### COMMENTS:

Andrea Morgan  
Signature of Property Owner

Andrea Morgan  
Printed Name

Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip: \_\_\_\_\_  
\*Contact phone: \_\_\_\_\_

\*Please be advised that any and all comments received, are subject to the Texas Public Information Act and may be released to the public by Planning Staff only. You may be contacted regarding additional information and/or changes to the project.

Please note local and State law requires that written notice of a public hearing shall be sent to all property owners on the municipal tax roll. It is possible for property ownership to change as notices are generated. The City of Galveston maintains owner changes in our offices for correction with regard to legal notice of planning and zoning cases.





# City of Galveston

## Public Comment Form

**First Name \***

Marilyn

**Last Name \***

Murph

**Email \***

[REDACTED]

**Phone \***

5127627062

**Meeting Body**

CC-City Council

**Street Address \***

2803 Mayapan Ct

**City \***

Galveston

**State \***

Tx

**ZIP \***

77554

**Subject \***

Use of abandoned church near 8 Mile Rd

**Comments \* (?)**

500 character maximum

I feel like that there was not enough neighborhood input regarding the proposed zoning change for the abandoned church building usage at 8 Mile Rd. This building is not even accessible by public transportation, therefore the Stewart Rd (added) traffic that filters down to a racetrack at that point will become even more dangerous. Also, I think the surrounding neighborhoods need more time to learn and discuss the potential effects of having a substance abuse center next door and safety concerns.

**Checkbox**

- choice 1
- choice 2
- choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Julia

**Last Name \***

Cox

**Email \***

[REDACTED]

**Phone \***

7134708023

**Meeting Body**

CC-City Council

**Street Address \***

7519 Beaudelaire circle

**City \***

Galveston

**State \***

TX

**ZIP \***

77551

**Subject \***

Drug rehab Stewart rd and 8 mile

**Comments \*** (?)

500 character maximum

Will this facility have drop in methadone treatment? How will the clients travel to and from the facility ? Any security at this facility ? Will clients be released without transportation ?

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Diane

**Last Name \***

Schlegel

**Email \***

████████████████████  
██████████

**Phone \***

7133027734

**Meeting Body**

CC-City Council

**Street Address \***

12825 E.. Conquistador

**City \***

Galveston

**State \***

TX

**ZIP \***

77554

**Subject \***

Substance Abuse Facility

**Comments \*** (?)

500 character maximum

The West End of Galveston does not need to house the criminals forced into rehab by the court system. This will increase crime in our area and allow access to those that do not live on the West End. Currently the West End has the lowest crime rate which will increase if such a facility is placed in our area. If Galveston Courts wish to create an Abuse Facility, let them place it in their own neighborhoods - do not create problems where none currently exist!!!

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Gail

**Last Name \***

Peterson

**Email \***

[REDACTED]

**Phone \***

4097711217

**Meeting Body**

CC-City Council

**Street Address \***

1814 Bayou Shore Drive

**City \***

Galveston

**State \***

Texas

**ZIP \***

77551

**Subject \***

Rehab Facility

**Comments \*** (?)

500 character maximum

I whole heartedly support the addition of a rehab facility to our Island. Even if I lived next door to it I would have no concerns. People there are sick. People there are trying to be well. People there want to go home. Hopefully it will be supported and welcomed.

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Judith

**Last Name \***

Flisram

**Email \***

[REDACTED]

**Phone \***

2062405321

**Meeting Body**

CC-City Council

**Street Address \***

1628 Avenue N1/2

**City \***

Galveston

**State \***

TX

**ZIP \***

77550

**Subject \***

Substance abuse facility

**Comments \* (?)**

500 character maximum

This is great news. Galveston needs facilities like these. People need to look at all the facilities in Florida. Good for people needing treatment and provides jobs.

Thank you

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Jude

**Last Name \***

Flisram

**Email \***

[REDACTED]

**Phone \***

2062405321

**Meeting Body**

CC-City Council

**Street Address \***

1628 Ave N 1/2

**City \***

Galveston

**State \***

Texas

**ZIP \***

77550

**Subject \***

Substance abuse program

**Comments \* (?)**

500 character maximum

Hello , not sure if my opinion matters as I do not live in the west area this is being proposed, however; Galveston needs a substance use disorder program desperately. State funded and privately owned. Just look at the people on the streets at night! People move to the west end because they dont want to see it, however; it could be their lived one next who needs it. Facilities are in the richest and nicest neighborhoods in CA, FL, it's time for the gulf and Galveston to become a recovery Mecca

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Georgia

**Last Name \***

Nelson

**Email \***

[REDACTED]

**Phone \***

4097401028

**Meeting Body**

CC-City Council

**Street Address \***

4728 Crockett Blvd

**City \***

Galveston

**State \***

Tx

**ZIP \***

77551

**Subject \***

Substance Abuse Facility

**Comments \*** (?)

500 character maximum

I'm writing to express my support of the proposed Substance Abuse Facility on Stewart Rd. There is a tremendous need for such a facility in Galveston. When people ask for help normally all of the beds in the area are full and they are placed on a waiting list. Adding additional beds to an overcrowded system, will allow more people to receive help. I've seen comments on social media expressing concern about increased crime because of the facility. These concerns are not supported by research.

**Checkbox**

choice 1

choice 2

choice 3

September 22, 2020

Galveston City Planning

It has come to our attention that an application has been submitted to change the use of a certain property located at the corner of Eight Mile Road and Stewart Road. As property owners nearby we are interested in learning more about the proposed new use. We understand the proposal for the change of use is coming before City Planning today. We are requesting that a decision as to the change of use of this property be postponed to a future date so that the proposal can be properly presented to the neighboring property owners. It is an usually difficult time for all of us with tropical storm Beta as well as a worldwide Covid-19 pandemic currently in effect.

Yours truly,  
Carolyn T. Gaido  
Jon R. Eversberg

**Karen White**

---

**From:** Janelle Williams  
**Sent:** Tuesday, September 22, 2020 1:19 PM  
**To:** Karen White  
**Cc:** Catherine Gorman  
**Subject:** FW: Planning Commission - Public Comment

Below is a public comment for today's PC meeting.

Thank you,  
Janelle

---

**From:** Elizabeth Rogers <liz@fiveandtwomarketing.com>  
**Sent:** Tuesday, September 22, 2020 1:17 PM  
**To:** Janelle Williams <JWilliams@GalvestonTX.Gov>  
**Cc:** C&J MOONWALKS RENTALS <[REDACTED]>; John Listowski <[REDACTED]>  
**Subject:** [EXTERNAL] Planning Commission - Public Comment

Good afternoon Janelle (and JP),

I would like to submit a public comment for today's Planning Commission meeting regarding **agenda items 20P-027 and 20P-028 for the property located at 11279 Stewart Road**. As a homeowner on adjacent property located at 10213 Stewart Road, **we do not** support the requested change of zoning from Residential to Commercial.

This entire area is residential with homes, kids, runners, dog-walkers and we sit across from Campeche Cove - this zoning change would set a precedence for other changes to occur and would open the door for any commercial entity to sit on this property - which would affect not only property values, but the community as a whole.

Thank you for your time - please contact me with any additional questions at (409) 771-0051 or [liz@fiveandtwomarketing.com](mailto:liz@fiveandtwomarketing.com).

*Warmest,*



**Liz Rogers Alvarado**  
Five & Two Marketing

☎ 409.771.0051  
✉ [liz@fiveandtwomarketing.com](mailto:liz@fiveandtwomarketing.com)  
🌐 [www.fiveandtwomarketing.com](http://www.fiveandtwomarketing.com)



**Karen White**

---

**From:** Janelle Williams  
**Sent:** Tuesday, September 22, 2020 2:23 PM  
**To:** Catherine Gorman  
**Cc:** Karen White  
**Subject:** FW: Planning Commission Agenda Item 20p-027 and 20p-028

[Here is another public comment for today's meeting.](#)

**From:** Emily Cooke <[REDACTED]>  
**Sent:** Tuesday, September 22, 2020 2:22 PM  
**To:** Janelle Williams <JWilliams@GalvestonTX.Gov>  
**Subject:** [EXTERNAL] Planning Commission Agenda Item 20p-027 and 20p-028

I am a resident very close to the request for rezoning to commercial to put a drug rehab facility next to our home where a church currently is. I am completely NOT in support of this as the high volume traffic is a disruption to our family life and has been an issue with noise ordinance in the past.

Putting a rehab facility next to our homes would increase the risk of crime and invasions of privacy.

Thank you,  
Emily



# City of Galveston

## Public Comment Form

**First Name \***

Steve P

**Last Name \***

Voinis

**Email \***

[REDACTED]

**Phone \***

713-201-7498

**Meeting Body**

CC-City Council

**Street Address \***

11322 Sportsman Road

**City \***

Galveston

**State \***

Texas

**ZIP \***

77554

**Subject \***

8 Mile Road Substance Abuse Facility

**Comments \*** (?)

500 character maximum

I am adamantly opposed to locating the proposed Substance Abuse Facility on the former church site on 8 Mile Road. My home is nearby on Sportsman Road which is a special place and joy for me and my wife, 5 children and 9 grandchildren. I fear that this proposed facility, located at the entrance of our peaceful Sportsman Road Community, would introduce risk and safety concerns to our family neighborhood. The damaging impact to Sportsman and other neighboring communities will be severe

**Checkbox**

- choice 1
- choice 2
- choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Matt and Sara

**Last Name \***

Hawkes

**Email \***

[REDACTED]

**Phone \***

8329201976

**Meeting Body**

CC-City Council

**Street Address \***

11516 Sportsman Rd

**City \***

Galveston

**State \***

TX

**ZIP \***

77554

**Subject \***

8 mile road proposed Substance Abuse Facility

**Comments \* (?)**

500 character maximum

We are not happy with the proposed location for the substance abuse facility off 8 mile road. We live off of 8 mile road off of Sportsman Road. We are full time residents, but there are many that are not full time residents on our road. I think having this facility here will lead to people walking or driving through our neighborhoods that normally wouldn't be over here. I feel this facility so close to residents will lead to increased crime.

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Mary Ann

**Last Name \***

Loweth

**Email \***

[REDACTED]

**Phone \***

7134464871

**Meeting Body**

CC-City Council

**Street Address \***

31 East Briar Hollow Lane

**City \***

Houston

**State \***

TX

**ZIP \***

77027

**Subject \***

Proposed rehab facility at 8 Mile Road and Stewart Road

**Comments \*** (?)

500 character maximum

Along with my siblings, we own a home on Sportsman Road. My father bought the property close to 60 years ago and we re-built a home after Ike destroyed the original home. We've just learned that a rehab facility is proposed at an abandoned church located at 8 Mike Road & Stewart Road. We want to voice STRONG OPPOSITION to this facility. Our children and grandchildren visit often and we do NOT want the facility near us.  
T

**Checkbox**

- choice 1
- choice 2
- choice 3



# City of Galveston

## Public Comment Form

**First Name \***

krissi

**Last Name \***

reid

**Email \***

[REDACTED]

**Phone \***

713-823-3365

**Meeting Body**

CC-City Council

**Street Address \***

11042 Sportsman Rd

**City \***

Galveston

**State \***

TX

**ZIP \***

77554

**Subject \***

proposed substance abuse "commercial property" at 8 mile and stewart rd

**Comments \* (?)**

500 character maximum

I own a home at Sportsman & 8 mile road for 15 years, our property tax has increased at an alarming rate, it's ok w clean up of our area as it continues to improve. Adding a commercial facility that serves as a drug rehab center a few miles from my home is not an improvement. I do not agree for many reasons

I am against Change in zoning

I am against the Drug Rehab facility

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

James

**Last Name \***

Pozzi

**Email \***

jim.pozzi@anico.com

**Phone \***

4095999378

**Meeting Body**

CC-City Council

**Street Address \***

11802 SPORTSMAN RD

**City \***

GALVESTON

**State \***

TX

**ZIP \***

775549474

**Subject \***

Public hearing on zoning change on abandoned church property at Stewart Road and 8 Mile Road

**Comments \*** (?)

500 character maximum

My wife and I are opposed to this zoning change. It is also not a good location due to the flooding that occurs in our area as seen hte last several days with Beta.

**Checkbox**

choice 1

choice 2

choice 3



# City of Galveston

## Public Comment Form

**First Name \***

Keith

**Last Name \***

McFatrige Jr

**Email \***

kmcfatrige@mbslawyer.com

**Phone \***

7132047172

**Meeting Body**

CC-City Council

**Street Address \***

11822 Sportsman Rd

**City \***

GALVESTON

**State \***

TX

**ZIP \***

77551

**Subject \***

20P-027 (11279 Stewart Road)

**Comments \* (?)**

500 character maximum

I am opposed to this permit use change. I did not receive notice.

**Checkbox**

choice 1

choice 2

choice 3

## Karen White

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**From:** Keith McFatrige, Jr. <kmcfatrige@mbslawyer.com>  
**Sent:** Tuesday, September 22, 2020 3:32 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 20P-027 (11279 Stewart Road)

I am opposed to both of the following

1. Change in zoning request and 2. Approval of the drug rehab facility.

11822 sportsman Road is my property.

Keith W. McFatrige, Jr. MBA, JD, LLM  
McFatrige & Associates, P.C.  
2228 Ship's Mechanic Row, Suite 200  
Galveston, Texas 77550  
Phone (409) 766-7966  
Phone (713) 797-0694 (Houston)  
Facsimile (409) 766-7955  
Mobile (713) 204-7172

[kmcfatrige@mbslawyer.com](mailto:kmcfatrige@mbslawyer.com)



# City of Galveston

## Public Comment Form

**First Name \***

Denise

**Last Name \***

Campbell

**Email \***

[REDACTED]

**Phone \***

7137258903

**Meeting Body**

CC-City Council

**Street Address \***

11706 Sportsman RD

**City \***

Galveston

**State \***

TX

**ZIP \***

77554

**Subject \***

Change in Zoning

**Comments \*** (?)

500 character maximum

We are not in favor of changing zoning on 8 mile road and we are not in favor of a drug rehab facility on 8 mile road.

**Checkbox**

choice 1

choice 2

choice 3

## Karen White

---

**From:** Denise Campbell <[REDACTED]>  
**Sent:** Tuesday, September 22, 2020 4:01 PM  
**To:** Planning Counter  
**Subject:** [EXTERNAL] 8 mile road rehab facility

Hello Planning,

We are opposed to changing zoning for an 8 mile road drug rehab.

Denise and Bob Campbell  
11706 Sportsman Rd  
Galveston, TX 77554

Best,

Denise Campbell  
713-725-8903

Typos compliments  
of my iPhone



# City of Galveston

## Public Comment Form

**First Name \***

Wade

**Last Name \***

Kilpatrick

**Email \***

[REDACTED]

**Phone \***

5127015553

**Meeting Body**

CC-City Council

**Street Address \***

1704 S Congress Ave, Suite K

**City \***

Austin

**State \***

Texas

**ZIP \***

78704

**Subject \***

Agenda Item 7D; Comments from the developers of the Sweetwater Cove subdivision

**Comments \*** (?)

500 character maximum

We oppose the application for issuance of a Specific Use Permit to operate a "Substance Abuse Facility" at 11279 Stewart Road. The adjacent land is zoned RES/REC or TN. The Sweetwater Cove development and the ongoing expansion of Beachside Village are indicative of the quality of development occurring in this growth corridor. The proposed use would negatively impact these developments and deter similar high-quality developments in the future. Furthermore, it conflicts with COG's zoning plan.

**Checkbox**

- choice 1
- choice 2
- choice 3

**Karen White**

---

**From:** Tracy Lovoi <TLovoi@cregroup.com>  
**Sent:** Tuesday, September 22, 2020 4:16 PM  
**To:** Adriel Montalvan  
**Subject:** [EXTERNAL] Proposed Substance Abuse Facility at 8 Mile Road/ Steward Rd

This area is far to residential and tourist heavy for a facility of this nature.

That building is very delapidated and would need millions of dollars of renovations. Surely there is a more remote area this facility could be built for less cost.

We are opposed to any such facility at that location.

Tracy Lovoi  
*Partner*  
900 Hogan St., Houston, TX 77009  
P: 713-225-0553 | F: 713-225-0554 |





September 22, 2020

City of Galveston Planning Commission  
823 Rosenberg  
Galveston, Texas 77550

Dear Commissioners:

I am writing you today to express my strong opposition to rezoning the parcel located at the corner of Stewart Road and 8 Mile Road for a drug rehabilitation facility. As a Galveston native, and multi-generation property owner in the vicinity, I feel that if this proposal were approved then it would have many negative impacts on the surrounding area. This would devalue properties a significant distance from the parcel in question, create logistical challenges and potentially pose a hazard to residents as well as customers of the facility itself. Further, I was very recently made aware of this proposal and know that many in the affected area are unaware of this re-zoning agenda item.

A drug rehabilitation facility will negatively impact property values a significant distance in all directions from the proposed site. It is fair to make the broad statement that nobody wants to own a house, vacation home, agricultural operation, wildlife preservation initiative or tourist oriented business in proximity to a drug rehab facility. Regardless of the "private" and "for-profit" status of the proposed operation, the mere existence of such an operation is incompatible with these exiting property utilizations and will erode current investments and the tax base. This loss in value would come in part from the real and/or perceived safety hazards that are inherent with an operation that solely caters to individuals with drug and substance addiction. Even though these customers would be seeking treatment, it is naïve to think that there would be no negative ramifications to the introduction of this element to the neighborhood. Serious drug use is almost always accompanied by other crimes and in many cases leads to homelessness. As the owner of a larger tract used for agricultural and wildlife habitat enhancement, I can tell you first hand that we have had dozens of issues related to trespassing and drug use over the years. Specifically, these trespassers were seeking an "open space" to engage in the utilization of illegal drugs or seeking to pick mushrooms from our private property to use as a drug.

The issues mentioned above could be further exacerbated by the lack of public transportation options and the fact that the property is not behind the seawall and surrounded by a flood-prone area during storm and high tide events. Should some of the patrons or individuals associated with the facility lack transportation options, then that could lead to some of the homeless issues and trespassing concerns mentioned above. Transportation of individuals in various stages of drug rehabilitation (i.e. cannot drive, should be in isolation, etc...) could create major problems during an attempted evacuation.



One has to question whether this concept will be successful given the fact that there is already a Salvation Army and Women's Crisis Center on Galveston Island. If this venture were to fail, that could open the door for the facility to become a state or federally subsidized drug rehabilitation facility for indigent care. This is a practical concern for nearby owners because it would bring disastrous implications to the neighborhood.

In closing, I am a proponent of business and private property rights. However, I believe in reasonable zoning restrictions and feel that it is prudent not to allow this proposed property utilization. I again strongly urge the commission to deny this re-zoning request and thank you for your consideration.

Respectfully,

**John R. "Rocky" Sullivan**  
Sullivan Central Park Ltd. & TNI Investments Ltd.  
11131 Homrighaus Road  
Galveston, TX 77554

**Karen White**

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**From:** R Krumholz <[REDACTED]>  
**Sent:** Tuesday, September 22, 2020 12:59 PM  
**To:** Adriel Montalvan  
**Subject:** [EXTERNAL] Drug ReHab Center 8Mile road

I have been a Resident and property owner on Sportsman Road for the past thirty years. I am strongly against the proposed Drug Rehab center on 8 Mile Road. This residential area is not the place for this type of facility. As we have recently (today) experienced this area and building is Highly susceptible to Flooding both by rain and storm surge. I watched this structure being built with portions being "underground" and have heard that it has structural issues due to being "underground" as well as health issues. This is not an acceptable location for this type of Facility!!

Thank you in advance for declining a permit for such use.

Richard V Krumholz  
Sent from my iPad



## 20P-017a

## STAFF REPORT

### **ADDRESS:**

24131 San Luis Pass Road

### **LEGAL DESCRIPTION:**

The property is legally described as Sur Tract 19, a subdivision located in the City and County of Galveston, Texas.

### **APPLICANT/REPRESENTATIVE:**

Kai Adkins

### **PROPERTY OWNER:**

Edgewood Ventures, LLC.  
C/O Kai Adkins

### **REQUEST:**

Beachfront Construction  
Certificate/Dune Protection  
Permit for construction of a  
single-family dwelling and  
driveway.

### **APPLICABLE LAND USE**

#### **REGULATIONS:**

Chapter 29, Article 2, Beach  
Access Dune Protection and  
Beachfront Construction  
Regulation.

### **STAFF RECOMMENDATION:**

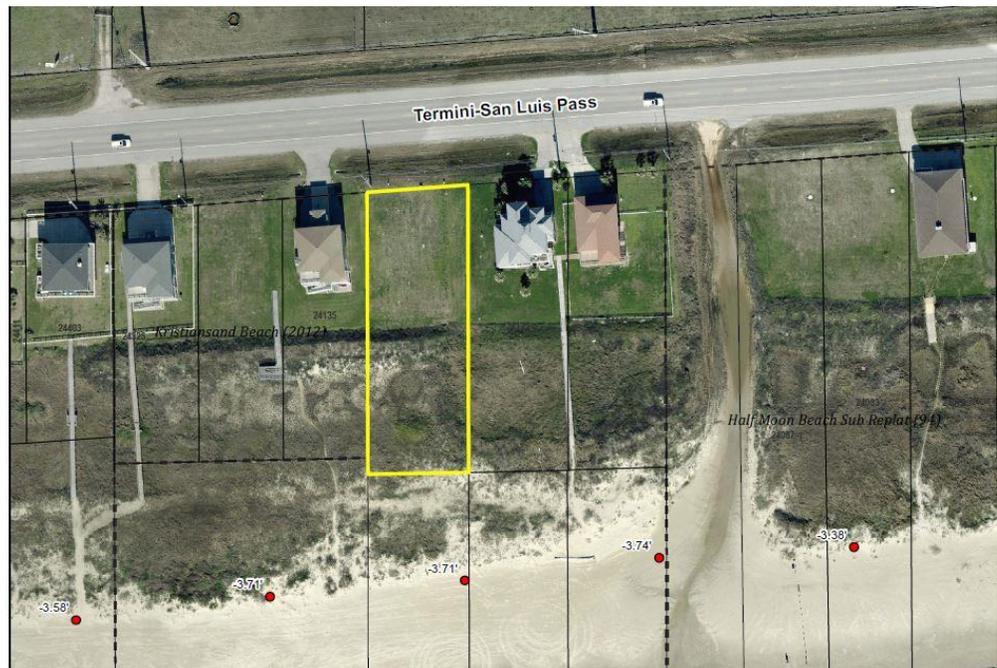
Approval with Conditions

### **EXHIBITS:**

- A – Aerial Map
- B – Topographic Survey
- C – Site Plan & Drawings
- D – Site Photos
- E – GLO Comment Letter

### **STAFF:**

Virginia Greb  
Coastal Resources Asst. Mgr.  
VGreb@GalvestonTX.gov



**Note:** This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

### **Background**

The applicant is resubmitting the application due to material changes proposed after the application was approved at the May 19, 2020 Planning Commission meeting. The applicant changed the design of the stairs and moved the proposed single-family dwelling farther seaward than originally proposed.

The applicant is now requesting approval to construct a single-family dwelling and driveway within the Enhanced Construction Zone approximately 29-feet from the North Toe of the Critical Dune Area and 229-feet from the Line of Vegetation. The applicant is proposing fibercrete for the footprint and driveway material due to the location of the proposed structure's distance from the North Toe of the Critical Dune Area and Line of Vegetation.

### **Executive Summary:**

The City of Galveston's Dune Protection and Beach Access Plan designates the Planning Commission as the authority to review and consider for approval applications for a Beachfront Construction Certificate/Dune Protection Permit when the proposed construction activities will occur in areas within or seaward of the Dune Conservation Area or up to 50-feet landward of the Dune Protection Line. The Dune Protection Line is the area within 25-feet landward of the North Toe of the Critical Dune Area or within 200-feet landward of the Line of Vegetation for those beach areas where no dunes exist west of the terminus of the Seawall.

**Site and Surrounding Area:**

The subject site is a 0.466-acre lot located in the Half Moon Beach Subdivision. FM-3005 is located to the North, single-family dwellings are located to the East and West, and an undeveloped lot and beach area are located to the South of the subject property. According to the Bureau of Economic Geology, this area is eroding at a rate of three to four feet per year.

**Analysis:**

The table below summarizes the applicant survey and site plan (Attachments "B" and "C") regarding the proposed new construction and the location of proposed construction in relation to on-site conditions:

Proposed Structure's Distance from:	Distance (Feet)
...North Toe of the Dune	~29
...the Line of Vegetation	~229

In accordance with Chapter 29: Planning – Beach Access Dune Protection & Beach Front Construction, before issuing a permit, the Planning Commission must find that the proposed construction conforms with the following Beachfront Construction Certificate and Dune Protection Permit standards:

**(1) The proposed activity is not a prohibited activity as defined in these standards.**

The request conforms to the City of Galveston’s Dune Protection and Beach Access Plan and Erosion Response Plan. The drawings, (Attachment "C"), are submitted with this request.

The applicant is proposing to build within ~29-feet of the North Toe of the Critical Dune Area and within the Enhanced Construction Zone. The applicant is proposing fibercrete for the footprint of the proposed single-family dwelling and driveway material. Staff reviewed the application materials and found no prohibited activities proposed seaward of the Dune Protection Line.

The proposed construction is landward of the Dune Protection Line and the Dune Conservation Area. Therefore, a ground floor enclosure is permitted in the area 25-feet landward of the North Toe of the Critical Dune Area. Note: the City’s locally adopted flood ordinance requires ground floor enclosures to be no greater than 299 square feet as measured from the outside of the enclosure.

**(2) The proposed activity will not materially weaken dunes or materially damage dune vegetation seaward of the Dune Protection Line based on substantive findings as defined in "Technical Standards" of these standards.**

According to Section 29-2(k) Technical Standards, the Planning Commission shall not approve an application for construction if it is determined that it will result in a material weakening and material damage of dune vegetation. The following standards shall be used to make this determination:

- a. The activity shall not result in the potential for increased flood damage to the proposed construction site or adjacent property;
- b. The activity shall not result in runoff or drainage patterns that aggravate erosion on or off the site;
- c. The activity shall not result in significant changes to dune hydrology;
- d. The activity shall not result in adverse affects on dune complexes or dune vegetation;
- e. The activity shall not significantly increase the potential for washovers or blowouts to occur; or

- f. The Commission shall not issue a Beachfront Construction Certificate and Dune Protection Permit authorizing construction unless the construction and property design is designed so as to minimize impacts on natural hydrology. Such projects shall not cause erosion to adjacent properties, critical dune areas, or the public beach.

The Technical Standards also state that the Planning Commission should take into consideration all comments from the Texas General Land Office when deciding whether to grant a Beachfront Construction Certificate/Dune Protection Permit. Attachment "E" lists the comments from the Texas General Land Office for this request.

The proposed construction will be required to be consistent with FEMA minimum requirements, which should not increase the potential for increased flood damage to the construction site or adjacent property.

As a result of the construction, the applicant is prohibited from affecting runoff or drainage patterns that would aggravate erosion on or off site, result in significant changes to dune hydrology, or significantly increase the potential for washovers or blowouts to occur. Runoff should be directed away from the dune area. The applicant is required to direct all non-natural drainage on the lot away from the beach and dunes, and toward the drainage infrastructure in the subdivision and in the street landward of the lot. Drainage plans are to be reviewed and approved by the City Engineering Department.

The proposed construction activities are taking place landward of the Dune Conservation Area. Staff finds that the proposed construction will not materially weaken dunes or materially damage dune vegetation as defined by these Technical Standards.

**(3) There are no practicable alternatives to the proposed activity that is located seaward of the Dune Protection Line and adverse effects cannot be avoided as provided in the Mitigation sequence as outlined in these Standards.**

The City's Dune Protection and Beach Access Plan states that the Planning Commission shall utilize the Mitigation Sequence in determining whether to issue a permit for an activity located seaward of the Dune Protection Line, after the determination that no material weakening of dunes or material damages to dunes will occur within critical dune areas or seaward of the Dune Protection Line. The mitigation sequence is as follows:

- 1) **Avoid** the impact altogether by not taking a certain action or parts of an action;
- 2) **Minimize** impacts by limiting the degree or magnitude of the action and its implementation;
- 3) **Rectify** the impact by repairing, rehabilitating, or restoring the affected environment; and,
- 4) **Compensate** for the impact by replacing resources lost or damaged.

Proposed construction is landward of the Dune Conservation Area. No construction activities seaward of the Dune Protection Line are proposed with this request and no adverse effects to dunes or dune vegetation are expected.

**(4) The applicant's mitigation plan, for an activity seaward of the Dune Protection Line, if required, will adequately minimize, mitigate, and/or compensate for any unavoidable adverse effects.**

No construction activities seaward of the Dune Protection Line are proposed with this request and no adverse effects to dunes or dune vegetation are expected.

**(5) The proposed activity complies with any applicable requirements of: Requirements for Beachfront Construction Certificate and Dune Protection Permits and Management of the Public Beach of this Section; and**

The application conforms to the City of Galveston requirements for a Beachfront Construction Certificate and Dune Protection Permit and the City requirements for the management of the public beach.

**(6) The structure is located as far landward as practicable.**

According to the site plan submitted by the applicant, the proposed stairs about the 20-foot front setback line and proposed construction is located as far landward as practicable.

The proposed construction is within the Enhanced Construction Zone, which is an area defined as being 125-foot landward of the Dune Conservation Area along Galveston's Gulf coast with an aggregate shoreline change of -2 to -8 feet per year. The City's Erosion Response Plan requires the following additional construction standards for any proposed construction activities within the Enhanced Construction Zone:

- Plans and certifications for proposed structures shall be sealed by a registered professional engineer licensed in the State of Texas, providing evidence of the adequacy of elevated building foundations and the proper placement, compaction, and protection of fill when used as construction for all newly constructed, substantially damaged, and substantially improved buildings elevated on pilings, posts, piers, or columns in accordance with the latest edition of specifications outlined in American Society of Civil Engineers, Structural Engineering Institute, Flood Resistant Design and Construction, ASCE 24-05.

**Staff Recommendation:**

Staff recommends approval of 20P-017a with the following conditions:

*Specific Conditions to Case 20P-017a:*

1. Plans and certifications for proposed structures within the enhanced construction zone shall be sealed by a registered professional engineer licensed in the State of Texas, providing evidence of the adequacy of elevated building foundations and the proper placement, compaction, and protection of fill when used as construction for all newly constructed, substantially damaged, and substantially improved buildings elevated on pilings, posts, piers, or columns in accordance with the latest edition of specifications outlined in American Society of Civil Engineers, Structural Engineering Institute, Flood Resistant Design and Construction, ASCE 24-05;
2. Proposed construction shall be located as far landward as practicable;
3. Paving or altering the area between the Line of Vegetation and 25-foot landward of the North Toe of the Critical Dune Area dune is not proposed and is prohibited;
4. Since the proposed single-family residence is located in an eroding area, paving may only be used under the habitable structure and for driveways connecting the habitable structure and the street. A habitable structure is defined as a structure used or usable for habitation. The area beneath uncovered decks or stairs may not be paved.
5. The driveway must be limited to the linear width of the primary structure, along the main street, and a minimum of 15% of the front yard must be maintained as open/unimproved area.

6. The applicant may only be permitted to construct an enclosure beneath the habitable structure if the walls are breakaway or louvered and the construction is consistent with the requirements of the National Flood Insurance Program.
7. The proposed construction shall be consistent with FEMA minimum requirements or with the FEMA approved local ordinance.
8. The proposed habitable structure shall be designed for feasible relocation.
9. The proposed construction activities shall not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, cause significant changes to dune hydrology, adversely affect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.
10. The proposed construction activities must minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach.

*Standard Conditions:*

11. Upon completion of the development, and prior to the issuance of a "Certificate of Occupancy," for those structures requiring Planning Commission approval, the permittee shall provide the Development Services Department with a final survey indicating finished elevations, surfaces, drainage patterns, fences, dune walkovers and landscape detail, or certification by a registered professional engineer that all Permit conditions have been met. No "Certificate of Occupancy" shall be approved until the Development Services Department approves a "Certificate of Completion," verifying that all Permit conditions have been satisfied;
12. Work approved under this permit shall be completed within one (1) year from the date this permit is issued. If work is not completed in this time period, it will be necessary for the applicant to reapply for a Beachfront Construction Certificate/Dune Protection Permit, unless an extension of the period, prior to the expiration, has been submitted to the Texas General Land Office for review and approved by the City;
13. The applicant shall adhere to all comments/conditions received from city departments. Should conformance with the comments/conditions require alterations to the project, as approved, the case must be returned to the Planning Commission for additional review and approval;
14. All non-natural drainage from the dwelling shall be directed away from the beach and dunes, toward the street landward of the lot and to the drainage infrastructure in the subdivision, and drainage plans shall be submitted to the City of Galveston Public Works Department, Division of Engineering for approval;
15. The applicant shall coordinate any/all dune enhancement plans with the Development Services Department; and,
16. The applicant must adhere to all aspects of Section 29: Planning-Beach Access Dune Protection & Beachfront Construction.

**ERP PRACTICABLE DEFINITION**

Practicable means available and capable of being done after taking into consideration existing building practices, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot, and considering

the overall development plan for the property.

**TEXAS ADMINISTRATIVE CODE PRACTICABLE DEFINITION 15.2(57)**

In determining what is practicable, local governments shall consider the effectiveness, scientific feasibility, and commercial availability of the technology or technique. Local governments shall also consider the cost of the technology or technique.

Respectfully Submitted,

*for*   
\_\_\_\_\_  
Virginia Greb  
Coastal Resources Assistant Manager

9/29/2020  
Date

  
\_\_\_\_\_  
Catherine Gorman, AICP  
Assistant Planning Director / HPO

9/29/2020  
Date

# Attachment “A”

## Aerial Map

**24131 San Luis Pass Rd.  
Case #20P-017a  
Aerial & BEG Map**

**Legend**

**End Point Rate (ft/yr)**

- Eroding (-1ft or more)
- Stable (-1 to +1ft)
- Accreting (+1ft or more)

- Parcels
- Subdivisions



0 50 100 200 Feet

1 inch = 104 feet

**Data Sources:**

Aerial Imagery and Parcel Data from Galveston CAD,  
Shoreline Change Data from U.T. Bureau of Economic  
Geology, Flood Insurance Rate Map from FEMA.

**Map prepared by the City of Galveston  
Development Services Department (VGreb) -**

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases.



Attachment “B”  
Topographic Survey

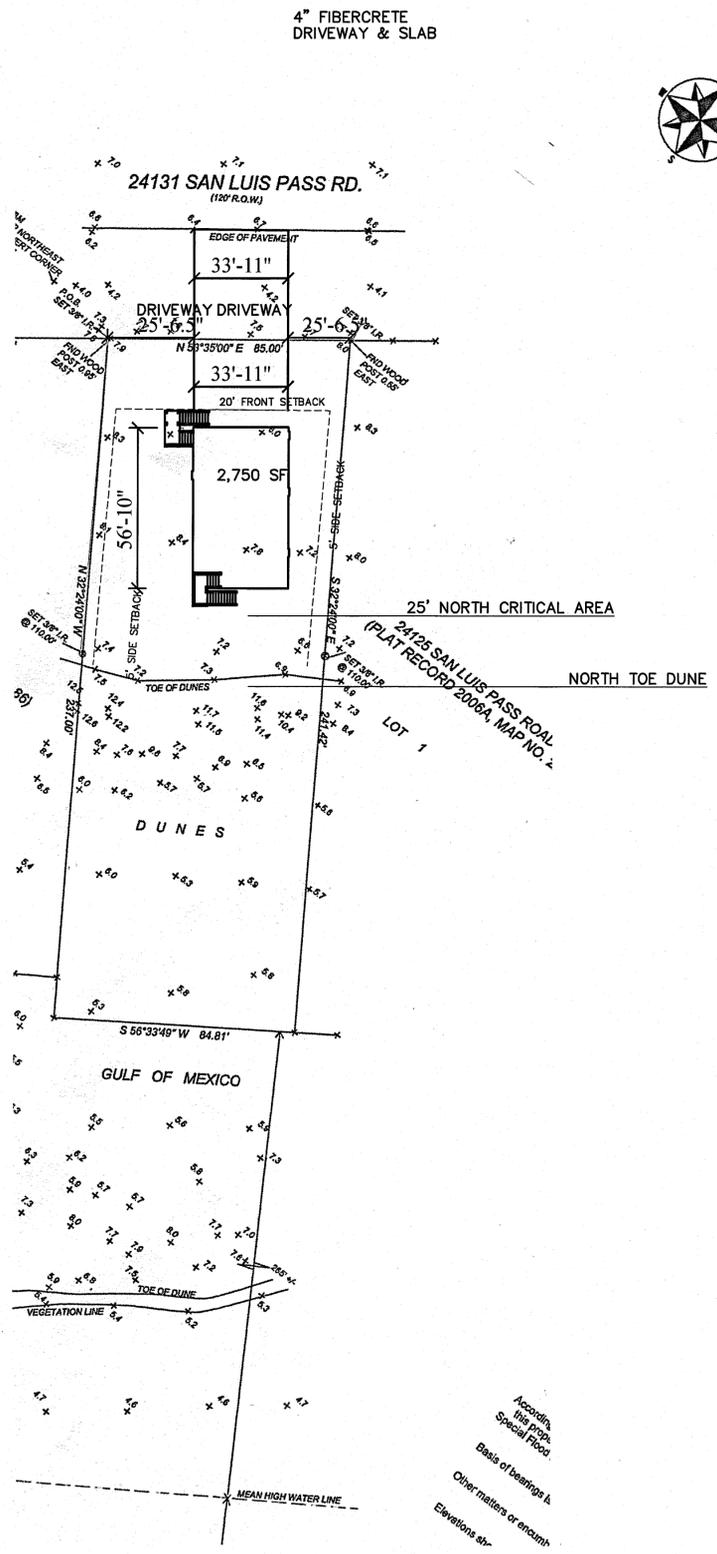


Attachment “C”

Site Plan

&

Drawings



3.4' Landward from Dune Critical Area  
 28.4' Landward from Dune North Toe  
 268.4' Landward from line of vegetation

STATE OF TEXAS  
 RODNEY LEE SLATON  
 90298  
 REGISTERED PROFESSIONAL ENGINEER

*Rodney Lee Slaton*

The seal appearing on this document was authorized by RODNEY LEE SLATON P.E. 90298, on 8-13-20

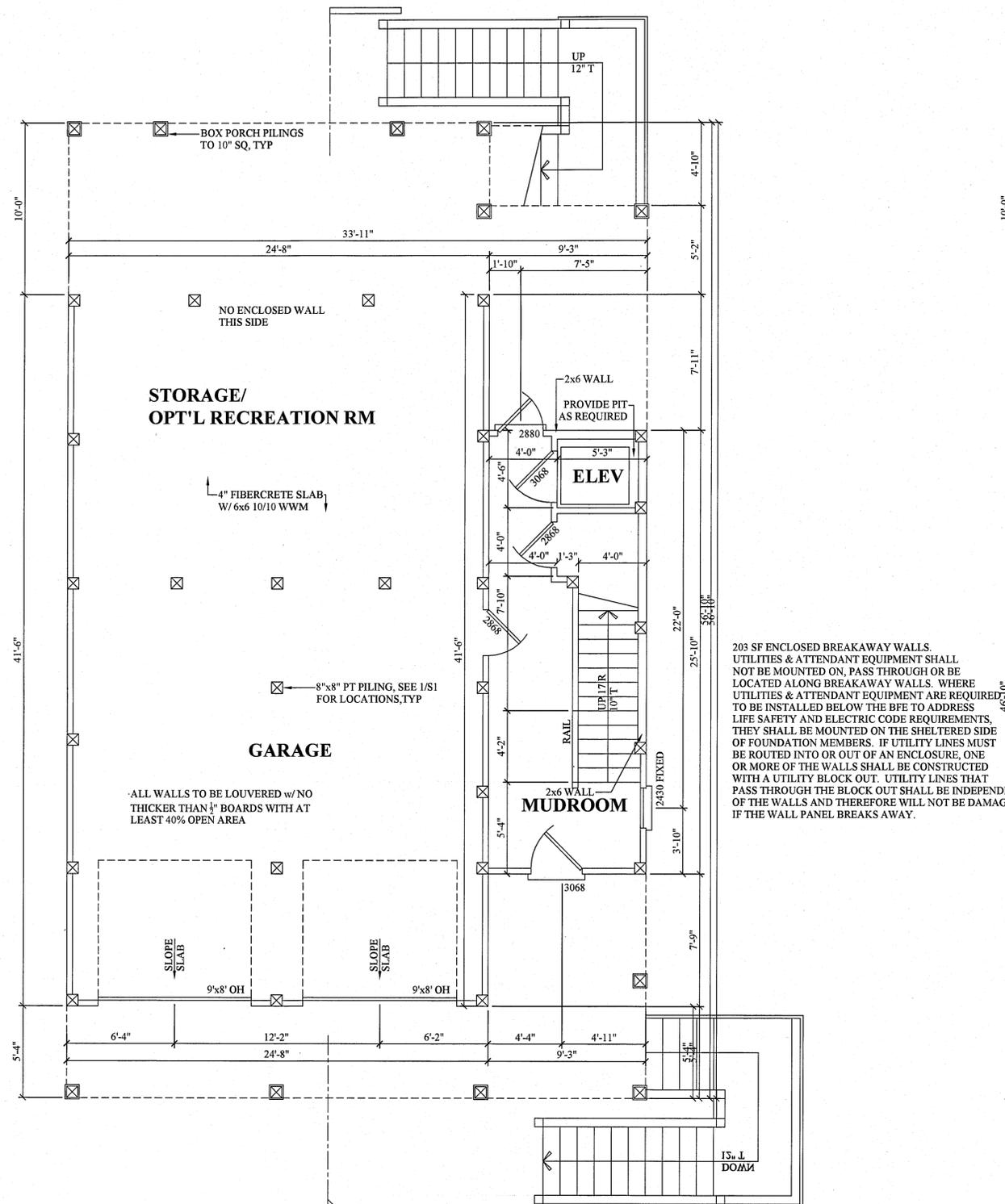
FLOOD STATEMENT  
 THE PROJECT IS LOCATED WITHIN VE 16 PER FIRM MAP 48167C0577, SUFFIX G, DATED, AUGUST 15, 2019.

ELEVATIONS  
 ELEVATIONS ARE BASED ON NAVD 1988, 2001 ADJUSTMENT.

LEGAL DESCRIPTION:  
 ABSTRACT 121 HALL & JONES SURVEY TRACT 19

5/17/20	1st SUBMITTAL		

<b>TRINITY BAY ENGINEERING</b> PLANNING-ENGINEERING-MANAGEMENT 911 S. 8th STREET LA PORTE, TEXAS 77571 OFFICE 281-515-1065 CELL 281-827-3929 E-MAIL: rodneym@trinitybayengineering.com		CAD FILE SITE PLAN PLOT DATE 10/19 DWG RLS CKD RLS APPD RLS SCALE 1"=30' JOB NO. -- SHEET <b>C.1</b>
<b>EDGEWOOD VENTURES</b>		
SITE PLAN FOR 2,750 SF SINGLE-FAMILY RESIDENTIAL @ 24131 SAN LUIS PASS ROAD JAMAICA BEACH, TEXAS 77554		



**1**  
**AI** **GROUND FLOOR PLAN**

- NOTES:  
 1) 9'-0" CEILING HT  
 2) SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS  
 3) DIMENSIONS ARE TO FRAMING  
 4) DOOR & WINDOW SIZE CLARIFICATION EXAMPLE:  
 2468 = 2'-4" x 6'-8" (NOMINAL SIZE)  
 5) CONTRACTOR TO VERIFY R.O. REQUIREMENTS FOR ELEVATOR

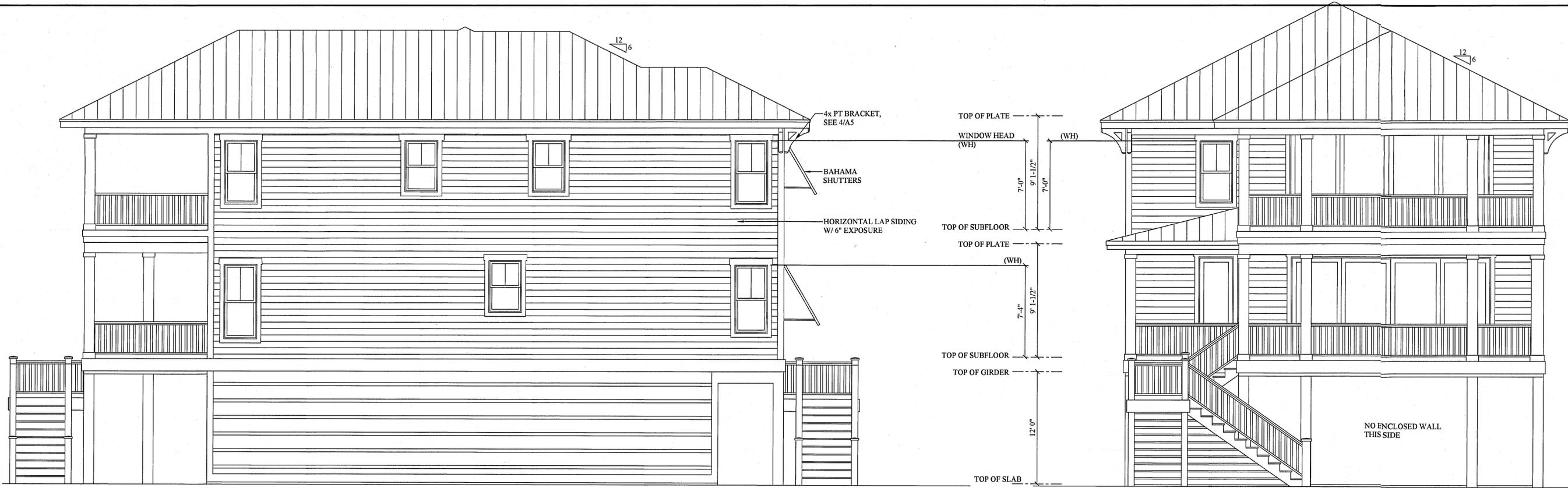


The seal appearing on this document was authorized by RODNEY LEE SLATON P.E. 90298, on 8-24-20

**FLOOD STATEMENT**  
 THE PROJECT IS LOCATED WITHIN VE 16 PER FIRM MAP 48167C0577, SUFFIX G, DATED, AUGUST 15, 2019.  
**ELEVATIONS**  
 ELEVATIONS ARE BASED ON NAVD 1988, 2001 ADJUSTMENT.  
 THE BEARING BASIS SHOWN HEREON IS THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE (4204) AND IS TIED TO HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBERS 020165 AND 010310.

3/17/20	1st SUBMITTAL		

TRINITY BAY ENGINEERING PLANNING-ENGINEERING-MANAGEMENT 911 S. 8th STREET LA PORTE, TEXAS 77571 OFFICE 281-515-1065 CELL 281-827-3929 E-MAIL: rodney@trinitybayengineering.com	CAD FILE SITE PLAN PLOT DATE 10/2/19 DWN RLS CKD RLS APPD RLS SCALE 1/4"=1' JOB NO. --- SHEET A.1
EDGEWOOD VENTURES GROUND & 1ST FLOOR FLOOR PLAN FOR 2,750 SF SINGLE-FAMILY RESIDENTIAL @ 24131 SAN LUIS PASS ROAD JAMAICA BEACH, TEXAS 77554	TBPE # 18351 SCALE 1/4"=1' SHEET A.1

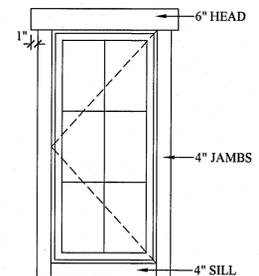


**3 LEFT SIDE ELEVATION**  
 A3 1/4"=1'-0"

ALL WALLS TO BE LOUVERED w/ NO THICKER THAN 3/4" BOARDS WITH AT LEAST 40% OPEN AREA

NOTE: PROVIDE "Z" FLASHING ABOVE ALL HORIZONTAL WALL APPLIED TRIM

**4 REAR ELEVATION**  
 A3 1/4"=1'-0"



**5 CASING DETAIL**  
 A3 1/2"=1'-0"

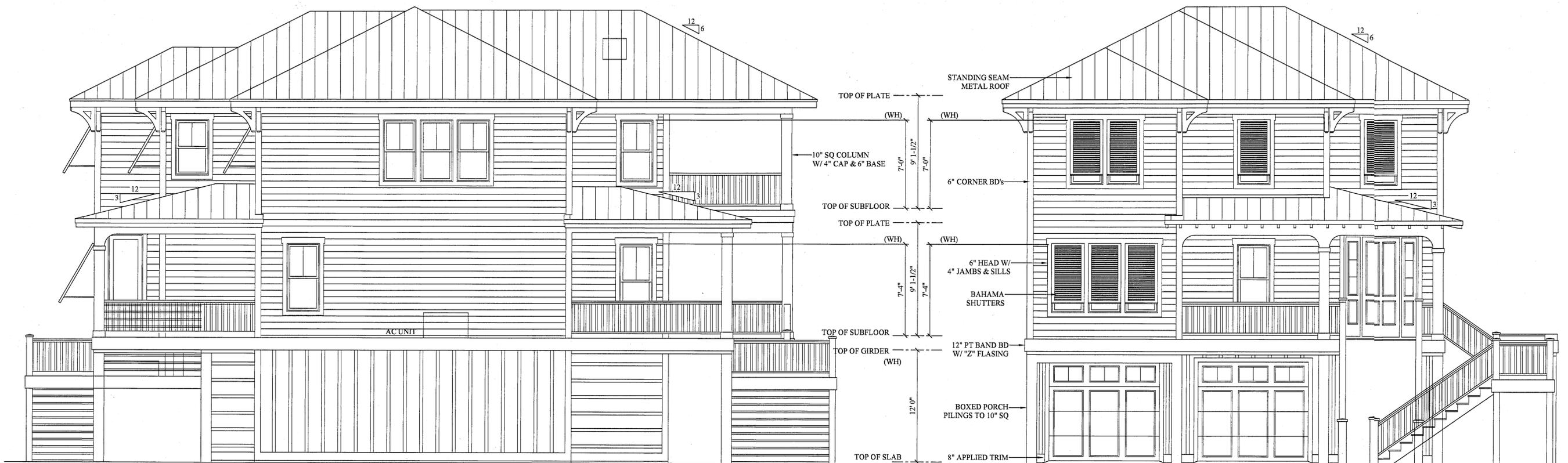


The seal appearing on this document was authorized by RODNEY LEE SLATON P.E. 90298, on 8-24-20

**FLOOD STATEMENT**  
 THE PROJECT IS LOCATED WITHIN VE 16 PER FIRM MAP 48167C0577, SUFFIX G, DATED, AUGUST 15, 2019.  
**ELEVATIONS**  
 ELEVATIONS ARE BASED ON NAVD 1988, 2001 ADJUSTMENT.  
 THE BEARING BASIS SHOWN HEREON IS THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE (4204) AND IS TIED TO HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBERS 020165 AND 010310.

5/17/20	1st SUBMITTAL		

<b>TRINITY BAY ENGINEERING</b> PLANNING-ENGINEERING-MANAGEMENT 911 S. 8th STREET LA PORTE, TEXAS 77571 OFFICE 281-515-1055 CELL 281-827-3929 E-MAIL rodney@trinitybayengineering.com		CAD FILE SITE PLAN PLOT DATE 10/19 DWN RLS CKD RLS APPD RLS SCALE 1/4"=1' JOB NO. SHEET <b>A.3</b>
<b>EDGEWOOD VENTURES</b>		
LEFT & REAR ELEVATIONS FOR 2,750 SF SINGLE-FAMILY RESIDENTIAL @ 24131 SAN LUIS PASS ROAD JAMAICA BEACH, TEXAS 77554		



**2**  
**A3** **RIGHT SIDE ELEVATION**  
1/4"=1'-0"

ALL WALLS TO BE LOUVERED w/NO THICKER THAN 1/2" BOARDS WITH AT LEAST 40% OPEN AREA

**1**  
**A3** **FRONT ELEVATION**  
1/4"=1'-0"

203 SF ENCLOSED BREAKAWAY WALLS. UTILITIES & ATTENDANT EQUIPMENT SHALL NOT BE MOUNTED ON, PASS THROUGH OR BE LOCATED ALONG BREAKAWAY WALLS. WHERE UTILITIES & ATTENDANT EQUIPMENT ARE REQUIRED TO BE INSTALLED BELOW THE BFE TO ADDRESS LIFE SAFETY AND ELECTRIC CODE REQUIREMENTS, THEY SHALL BE MOUNTED ON THE SHELTERED SIDE OF FOUNDATION MEMBERS. IF UTILITY LINES MUST BE ROUTED INTO OR OUT OF AN ENCLOSURE, ONE OR MORE OF THE WALLS SHALL BE CONSTRUCTED WITH A UTILITY BLOCK OUT. UTILITY LINES THAT PASS THROUGH THE BLOCK OUT SHALL BE INDEPENDENT OF THE WALLS AND THEREFORE WILL NOT BE DAMAGED IF THE WALL PANEL BREAKS AWAY.

ALL EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A MINIMUM NET CLEAR OF 5.7 SF AS PER SECTION R310.1. OF THE 2012 IRC.



The seal appearing on this document was authorized by RODNEY LEE SLATON P.E. 90298, on 8/21/20

**FLOOD STATEMENT**  
THE PROJECT IS LOCATED WITHIN VE 16 PER FIRM MAP 48167C0577, SUFFIX G, DATED, AUGUST 15, 2019.  
**ELEVATIONS**  
ELEVATIONS ARE BASED ON NAVD 1988, 2001 ADJUSTMENT.  
THE BEARING BASIS SHOWN HEREON IS THE TEXAS COORDINATE SYSTEM OF 1983, SOUTH CENTRAL ZONE (4204) AND IS TIED TO HARRIS COUNTY FLOODPLAIN REFERENCE MARK NUMBERS 020165 AND 010310.

3/17/20	1st SUBMITTAL		

<b>TRINITY BAY ENGINEERING</b> PLANNING-ENGINEERING-MANAGEMENT 911 S. 8th STREET LA PORTE, TEXAS 77571 OFFICE 281-515-1065 CELL 281-827-3929 E-MAIL: rodney@trinitybayengineering.com		CAD FILE SITE PLAN PLOT DATE 10/19 DWN RLS CKD RLS APPD RLS SCALE 1/4"=1' JOB NO. SHEET <b>A.4</b>
<b>EDGEWOOD VENTURES</b>		
RIGHT & FRONT ELEVATIONS FOR 2,750 SF SINGLE-FAMILY RESIDENTIAL @ 24131 SAN LUIS PASS ROAD JAMAICA BEACH, TEXAS 77554		

# Attachment “D”

## Site Photos



North Side Lot Facing South



West Side Lot Facing East



East Side Lot Facing Seaward Lot Edge and Dune Walkover Marks



East Side Lot Facing West

Attachment “E”  
GLO Comment Letter



TEXAS GENERAL LAND OFFICE  
GEORGE P. BUSH, COMMISSIONER

September 16, 2020

**Via Electronic Mail**

Virginia Greb  
Coastal Resources Assistant Manager  
Development Services Department  
City of Galveston  
823 Rosenberg, Room 401  
Galveston, Texas 77550-2103

**Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston**

**Site Address:** 24131 San Luis Pass Rd, Galveston  
**Legal Description:** ABST 121 Hall & Jones Sur TR 0.466 Acres; ABST 121 Hall & Jones Sur TR 20  
0.394 Acres  
**Lot Applicant:** Kai Adkins c/o Edgewood Ventures, LLC  
**Case Number:** 20P-017  
**GLO ID No.:** BDCOG-20-0127a

Dear Ms. Greb:

The General Land Office (GLO) has reviewed the amended application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence with a fibercrete driveway and an amendment to the original application to no longer construct the private dune walkover and to construct the habitable structure further seaward. The proposed single-family residence is located more than 200 feet landward of the line of vegetation, within the Enhanced Construction Zone, and adjacent to the Dune Conservation Area. According to the Bureau of Economic Geology, the area is eroding at a rate of three to four feet per year.

Based on the information provided to our office for review, we have the following comments:

- The City must ensure the proposed construction is located as far landward as practicable.<sup>1</sup>
- Paving or altering the area between the line of vegetation and 25 feet landward of the north toe of the dune is not proposed and is prohibited.<sup>2</sup>
- Since the proposed single-family residence is located in an eroding area, paving may only be used under the habitable structure and for driveways connecting the habitable structure and the

---

<sup>1</sup> City of Galveston Erosion Response Plan § 5 & 31 Tex. Admin. Code § 15.6(b).

<sup>2</sup> City of Galveston Beach Access and Dune Protection Plan § 29-90(m)(2).

street.<sup>3</sup> A habitable structure is defined as a structure used or usable for habitation.<sup>4</sup> The area beneath uncovered decks or stairs may not be paved.

- The driveway must be limited to the linear width of the primary structure, along the main street, and a minimum of 15% of the front yard must be maintained as open/unimproved area.<sup>5</sup>
- The use of permeable materials, such as brick pavers, limestone, or gravel, is recommended for drives or parking areas.<sup>6</sup>
- The City may only permit the applicant to construct an enclosure beneath the habitable structure if the walls are breakaway or louvered and the construction is consistent with the requirements of the National Flood Insurance Program.<sup>7</sup>
- The City must ensure the proposed construction is consistent with FEMA minimum requirements or with the FEMA approved local ordinance.<sup>8</sup>
- The City must ensure the proposed habitable structure is designed for feasible relocation.<sup>9</sup>
- The proposed construction activities must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, cause significant changes to dune hydrology, adversely affect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.<sup>10</sup>
- The proposed construction activities must minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach.<sup>11</sup>

If you have any questions, please contact me at (512) 463-5232 or at [michelle.culver@glo.texas.gov](mailto:michelle.culver@glo.texas.gov).

Sincerely,



Michelle Culver  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

cc: Dustin Henry, Coastal Resources Manager

---

<sup>3</sup>City of Galveston Beach Access and Dune Protection Plan § 29-90(m)(2).

<sup>4</sup> City of Galveston Beach Access and Dune Protection Plan § 29-54.

<sup>5</sup> City of Galveston Erosion Response Plan § 5.

<sup>6</sup> 31 Tex. Admin. Code § 15.5(b)(3).

<sup>7</sup> 31 Tex. Admin. Code § 15.6(f)(4).

<sup>8</sup> 31 Tex. Admin. Code § 15.6(e)(3).

<sup>9</sup> 31 Tex. Admin. Code § 15.6(f)(2).

<sup>10</sup> 31 Tex. Admin. Code § 15.4(d).

<sup>11</sup> 31 Tex. Admin. Code § 15.6(g).



## 20P-031

## STAFF REPORT

### **ADDRESS:**

26003 Flamingo Drive

### **LEGAL DESCRIPTION:**

Property is legally described as Lot 8, Block 1, Pointe West Section 1, a subdivision located in the City and County of Galveston, Texas.

### **APPLICANT/REPRESENTATIVE:**

Cate Black, Architect

### **PROPERTY OWNER:**

Stephanie and Scott  
Hildebrandt

### **REQUEST:**

Beachfront Construction  
Certificate/Dune Protection  
Permit for construction of a  
new home.

### **APPLICABLE LAND USE**

#### **REGULATIONS:**

Chapter 29, Article 2, Beach  
Access Dune Protection and  
Beachfront Construction  
Regulation.

### **STAFF RECOMMENDATION:**

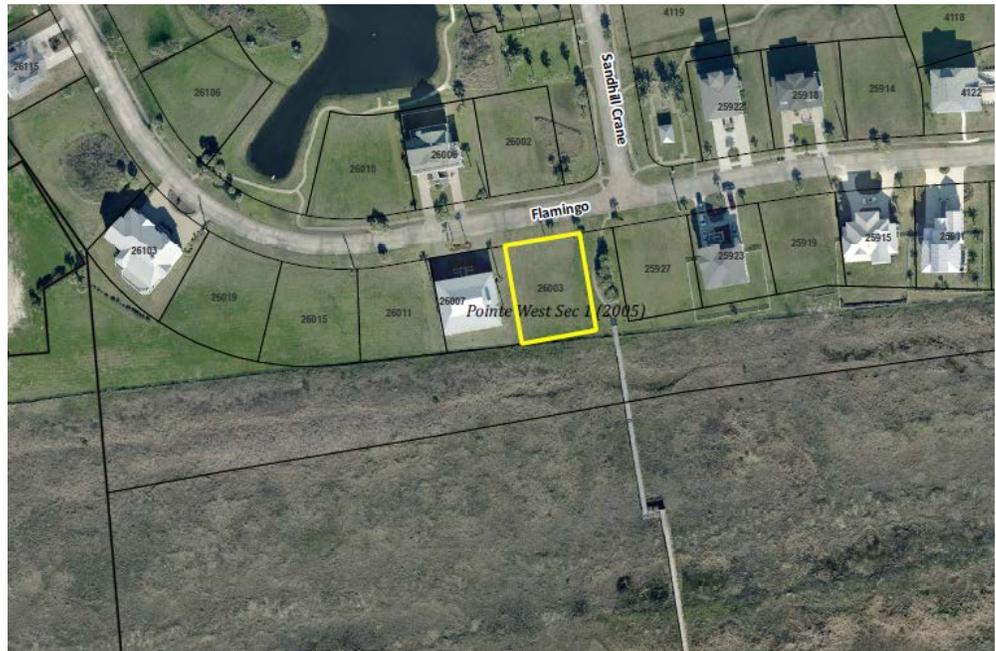
Approval with Conditions

### **EXHIBITS:**

- A – Aerial Map
- B – Topographic Survey
- C – Site Plan and Drawings
- D – Photos of Site
- E – Comment Letter from GLO

### **STAFF:**

Dustin Henry, AICP  
Coastal Resources Manager  
DHenry@GalvestonTX.gov



**Note:** This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

### **Executive Summary:**

The City of Galveston's Dune Protection and Beach Access Plan designates the Planning Commission as the authority to review and consider for approval permits for construction when it is to occur seaward of the Dune Protection Line – which is defined as the area within 75-foot landward of the north toe of the critical dune area, or for those beach areas where no dunes exist west of the terminus of the Seawall, within 200 feet landward of the line of vegetation.

The applicant is requesting approval to construct a single-family dwelling in an area approximately 25 feet, 6.5 inches from the north toe of the dune, which is landward of the Dune Protection Line, though within the Planning Commission review area. The proposed construction activities appear to be landward of dunes and dune vegetation, according to the application materials, therefore no mitigation activities are proposed.

### **Site and Surrounding Area:**

The subject site is a 0.246 acre lot located in the Pointe West Subdivision. There is a single-family dwelling located to the West of the subject property, a beach access path and walkover to the East, Flamingo Drive to the North, and beach area to the South.

According to the Bureau of Economic Geology, between the 1930s and 2012 this beach area has experienced an average shoreline change rate of -3.2 to -1.1 feet per year.

**Analysis:**

Details from the applicant’s site plan and survey (Attachments “B” and “C”) regarding the proposed new construction and its location in relation to conditions on the site are summarized in the table below.

<b>Proposed Structure’s Distance from:</b>	<b>Distance (Feet)</b>
...North Toe of the Dune	25.5
...the Line of Vegetation	588

In accordance with Chapter 29: Planning – Beach Access Dune Protection & Beach Front Construction, before issuing a permit, the Planning Commission must find that the proposed construction conforms with the following Beachfront Construction Certificate and Dune Protection Permit standards:

**(1) The proposed activity is not a prohibited activity as defined in these standards.**

The request partially conforms to the City of Galveston’s Dune Protection and Beach Access Plan, and Erosion Response Plan. The application materials indicated that concrete and pavers are to be used for the driveway and concrete for the paving of the footprint.

The proposed construction activities are located within the Enhanced Conservation Zone, and paving under the habitable structures and for driveways connecting the habitable structure and the street is limited to the use of unreinforced fibercrete in four-foot by four-foot sections, four inches thick with sections separated by expansion joints, or pervious materials. A habitable structure is defined as a structure used or usable for habitation. The area beneath uncovered decks or stairs may not be paved. Steel reinforced concrete may not be used in the Enhanced Construction Zone.

The proposed construction is landward of the Dune Protection Line and the Dune Conservation Area, therefore a ground floor enclosure is permissible. Note: the City’s locally adopted flood ordinance requires ground floor enclosures to be no greater than 299 square feet as measured from the inside of the enclosure.

Staff has reviewed the application materials, and no proposed prohibited activities seaward of the Dune Protection Line have been identified.

**(2) The proposed activity will not materially weaken dunes or materially damage dune vegetation seaward of the Dune Protection Line based on substantive findings as defined in "Technical Standards" of these standards.**

According to Section 29-2(k) Technical Standards, the Planning Commission shall not approve an application for construction if it is determined that it will result in a material weakening and material damage of dune vegetation. The following standards are to be used to make this determination:

- a. The activity shall not result in the potential for increased flood damage to the proposed construction site or adjacent property;
- b. The activity shall not result in runoff or drainage patterns that aggravate erosion on or off the site;
- c. The activity shall not result in significant changes to dune hydrology;
- d. The activity shall not result in adverse affects on dune complexes or dune vegetation;
- e. The activity shall not significantly increase the potential for washovers or blowouts to occur; or

- f. The Commission shall not issue a Beachfront Construction Certificate and Dune Protection Permit authorizing construction unless the construction and property design is designed so as to minimize impacts on natural hydrology. Such projects shall not cause erosion to adjacent properties, critical dune areas, or the public beach.

The Technical Standards also state that the Planning Commission should take into consideration all comments from the Texas General Land Office when deciding whether to grant a Beachfront Construction Certificate/Dune Protection Permit. Comments from the Texas General Land Office for this request are found in Attachment "E."

The proposed construction will be required to be consistent with FEMA minimum requirements, which should not increase the potential for increased flood damage to the construction site or adjacent property.

As a result of the construction, the applicant is prohibited from affecting runoff or drainage patterns that would aggravate erosion on or off site, result in significant changes to dune hydrology, or significantly increase the potential for washovers or blowouts to occur. Runoff should be directed away from the dune area. The applicant is required to direct all non-natural drainage on the lot away from the beach and dunes, and toward the drainage infrastructure in the subdivision and in the street landward of the lot. Drainage plans are to be reviewed and approved by the City Engineering Division.

Given the proposed construction activities are taking place landward of the Dune Conservation Area, staff finds that the proposed construction will not materially weaken dunes or materially damage dune vegetation, as defined by these Technical Standards.

**(3) There are no practicable alternatives to the proposed activity that is located seaward of the Dune Protection Line and adverse effects cannot be avoided as provided in the Mitigation sequence as outlined in these Standards.**

The City's Dune Protection and Beach Access Plan states that the Planning Commission shall utilize the Mitigation Sequence in determining whether to issue a permit for an activity located seaward of the Dune Protection Line, after the determination that no material weakening of dunes or material damages to dunes will occur within critical dune areas or seaward of the Dune Protection Line. The mitigation sequence is as follows:

- 1) **Avoid** the impact altogether by not taking a certain action or parts of an action;
- 2) **Minimize** impacts by limiting the degree or magnitude of the action and its implementation;
- 3) **Rectify** the impact by repairing, rehabilitating, or restoring the affected environment; and,
- 4) **Compensate** for the impact by replacing resources lost or damaged.

According to the application materials, the entirety of the proposed construction will be located landward of the Dune Protection Line, therefore no adverse effects to dunes or dune vegetation are anticipated.

**(4) The applicant's mitigation plan, for an activity seaward of the Dune Protection Line, if required, will adequately minimize, mitigate, and/or compensate for any unavoidable adverse effects.**

No construction activities seaward of the Dune Protection Line are proposed with this request, and no adverse effects to dunes or dune vegetation are expected as a result of these proposed construction activities.

**(5) The proposed activity complies with any applicable requirements of: Requirements for Beachfront Construction Certificate and Dune Protection Permits and Management of the Public Beach of this Section; and**

The application appears to comply with the City of Galveston's requirements for a Beachfront Construction Certificate and Dune Protection Permit, and the City's requirements for the management of the public beach.

**(6) The structure is located as far landward as practicable.**

The site plan depicts the proposed structure will be placed abutting the 20-foot front building line, which will be as far landward as practicable.

The proposed construction is within the Enhanced Construction Zone, which is an area defined as being 125-feet landward of the Dune Conservation Area along Galveston's Gulf coast with an aggregate shoreline change of -2 to -8 feet per year. The City's Erosion Response Plan requires the following additional construction standards for any proposed construction activities within the Enhanced Construction Zone:

- Plans and certifications for proposed structures shall be sealed by a registered professional engineer licensed in the State of Texas, providing evidence of the adequacy of elevated building foundations and the proper placement, compaction, and protection of fill when used as construction for all newly constructed, substantially damaged, and substantially improved buildings elevated on pilings, posts, piers, or columns in accordance with the latest edition of specifications outlined in American Society of Civil Engineers, Structural Engineering Institute, Flood Resistant Design and Construction, ASCE 24-05.

**Staff Recommendation:**

Staff recommends approval of 20P-031 with the following conditions:

*Specific Conditions:*

1. Plans and certifications for proposed structures within the enhanced construction zone shall be sealed by a registered professional engineer licensed in the State of Texas, providing evidence of the adequacy of elevated building foundations and the proper placement, compaction, and protection of fill when used as construction for all newly constructed, substantially damaged, and substantially improved buildings elevated on pilings, posts, piers, or columns in accordance with the latest edition of specifications outlined in American Society of Civil Engineers, Structural Engineering Institute, Flood Resistant Design and Construction, ASCE 24-05;
2. The applicant does not propose to damage any dunes or dune vegetation and is prohibiting from doing so without the appropriate permit;
3. Paving or altering the area between the line of vegetation and 25-feet landward of the north toe of the dune is prohibited;
4. Prior to the issuance of the Beachfront Construction/Dune Protection Permit, the applicant shall submit drawings indicating the use of unreinforced fibercrete or pervious materials for the paving under the habitable structure and driveway;
5. The driveway shall be limited to the linear width of the primary structure, along the Flamingo Drive, and a minimum of 15% of the front yard must be maintained as open/unimproved area;

6. The applicant may construct an enclosure beneath the habitable structure if the walls are breakaway or louvered and the construction is consistent with the requirements of the National Flood Insurance Program;
7. The proposed construction shall be consistent with FEMA minimum requirements or with the FEMA approved local ordinance;
8. The proposed habitable structure shall be designed for feasible relocation;
9. The proposed construction activities shall not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, cause significant changes to dune hydrology, adversely affect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur. The proposed construction activities shall minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach;

*Standard Conditions:*

10. Upon completion of the development, and prior to the issuance of a "Certificate of Occupancy," for those structures requiring Planning Commission approval, the permittee shall provide the Development Services Department with a final survey indicating finished elevations, surfaces, drainage patterns, fences, dune walkovers and landscape detail, or certification by a registered professional engineer that all Permit conditions have been met. No "Certificate of Occupancy" shall be approved until the Development Services Department approves a "Certificate of Completion," verifying that all Permit conditions have been satisfied;
11. Work approved under this permit shall be completed within one (1) year from the date this permit is issued. If work is not completed in this time period, it will be necessary for the applicant to reapply for a Beachfront Construction Certificate/Dune Protection Permit, unless an extension of the period, prior to the expiration, has been submitted to the Texas General Land Office for review and approved by the City;
12. The applicant shall adhere to all comments/conditions received from city departments. Should conformance with the comments/conditions require alterations to the project, as approved, the case must be returned to the Planning Commission for additional review and approval;
13. All non-natural drainage from the dwelling shall be directed away from the beach and dunes, toward the street landward of the lot and to the drainage infrastructure in the subdivision, and drainage plans shall be submitted to the City of Galveston Public Works Department, Division of Engineering for approval;
14. The applicant shall coordinate any/all dune enhancement plans with the Development Services Department; and,
15. The applicant must adhere to all aspects of Section 29: Planning-Beach Access Dune Protection & Beachfront Construction.

**ERP PRACTICABLE DEFINITION**

Practicable means available and capable of being done after taking into consideration existing building practices, siting alternatives, and the footprint of the structure in relation to the area of the building portion of the lot, and considering the overall development plan for the property.

**TEXAS ADMINISTRATIVE CODE PRACTICABLE DEFINITION 15.2(57)**

In determining what is practicable, local governments shall consider the effectiveness, scientific feasibility, and commercial availability of the technology or technique. Local governments shall also consider the cost of the technology or technique.

Respectfully Submitted,



\_\_\_\_\_  
Dustin Henry, AICP

Coastal Resources and Floodplain Manager

\_\_\_\_\_  
October 2, 2020

Date

**26003 Flamingo Dr.  
Case #20P-031**

**Aerial & BEG Map**

**Legend**

**End Point Rate (ft/yr)**

- Eroding (-1ft or more)
- Stable (-1 to +1ft)
- Accreting (+1ft or more)

- Parcels
- Subdivisions



0 50 100 200 300 Feet

1 inch = 167 feet

**Data Sources:**

*Aerial Imagery and Parcel Data from Galveston CAD,  
Shoreline Change Data from U.T. Bureau of Economic  
Geology, Flood Insurance Rate Map from FEMA.*

**Map prepared by the City of Galveston  
Development Services Department (VGreb) -**

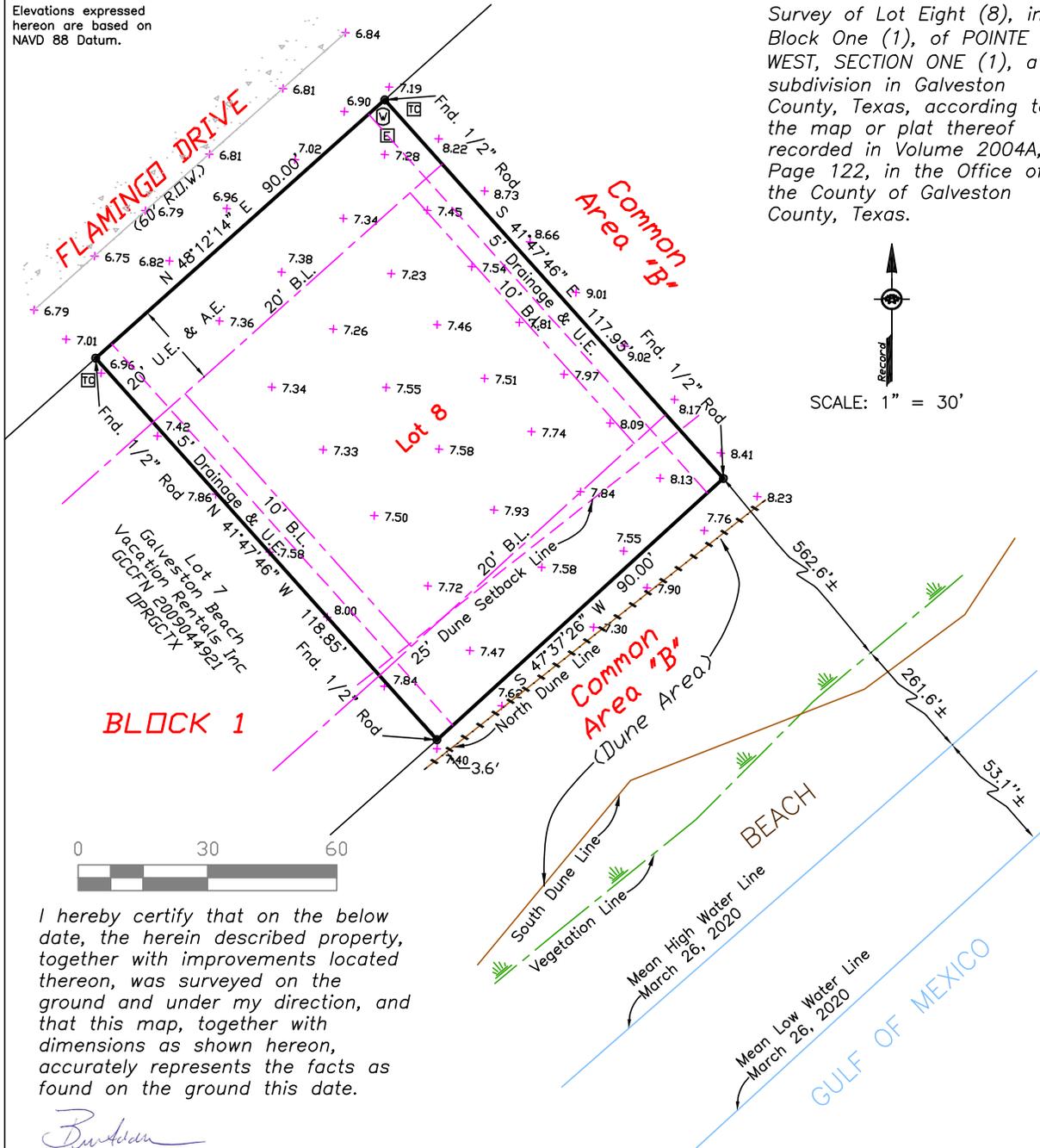
This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.

The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases.



Elevations expressed hereon are based on NAVD 88 Datum.

Survey of Lot Eight (8), in Block One (1), of POINTE WEST, SECTION ONE (1), a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 2004A, Page 122, in the Office of the County of Galveston County, Texas.



I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

*Brenea Addison*

Brenea Addison  
Registered Professional  
Land Surveyor No. 6598



**NOTES:**

- 1) This property is subject to the building and zoning ordinances of the City of Galveston.
- 2) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency.
- 3) This property is subject to any restrictions of record and may be subject to setbacks from power lines as established by OSHA and/or the local power company.
- 4) Bearings are based on the monumentation of the Southeast right-of-way line of Flamingo Drive.

Surveyed without the benefit of a title commitment. This property may be subject to matters of record not shown hereon that might be revealed by title report or title commitment.

**Legend:**

- . - . - Wood Fence
- - - Concrete
- [E] Electrical Box
- [W] Water Meter
- [T] Telecomm. Box
- B.L. Building Setback Line
- Building Line
- + 7.55 Spot Elevation (Typ.)

**TRICON LAND SURVEYING, LLC**

Mailing: 6341 Stewart Rd. #251  
Physical: 2011 59th Street  
Galveston, TX 77551  
409-497-2772  
TriconLandSurveying.com  
T.B.P.L.S. Firm No. 10194309

Drafting: LP Survey Date: March 26, 2020

Surveyed for: Stephanie Hildebrandt

# HILDEBRANDT RESIDENCE

POINTE WEST COMMUNITY | 26003 FLAMINGO | GALVESTON, TEXAS

**RISE**  
Architecture + Design

Cate Black, AIA, NCARB  
527 21st Street #96  
Galveston TX 77550  
713.906.7236  
cate@risearchdesign.com

CONSTRUCTION  
DOCUMENTS

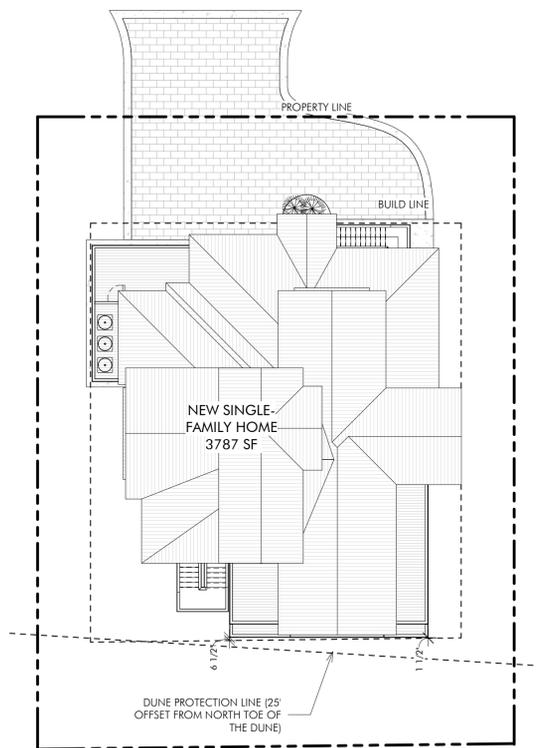
HILDEBRANDT

26003 Flamingo  
Galveston TX

COVER SHEET

A0

August 21, 2020



① SITE PLAN W/ SURVEY  
1/16" = 1'-0"



## CODE COMPLIANCE

- DESIGN COMPLIES WITH 2012 INTERNATIONAL RESIDENTIAL CODE, AND ALL CITY OF GALVESTON AMENDMENTS
- CITY OF GALVESTON FLOOD PLAIN ORDINANCE: SITE IS LOCATED IN VE ZONE, AND WILL BE BUILT ABOVE BASE FLOOD ELEVATION ACCORDINGLY
- ALL WORK PERFORMED BY CONTRACTORS & SUB-CONTRACTORS SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE WINDSTORM CODES, LOCAL BUILDING CODES & ORDINANCES

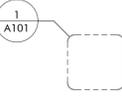
## ABBREVIATIONS

<b>A</b>	ACT ACOUSTIC CEILING TILE ADJ ADJUSTABLE ADD ADDENDUM AL ALUMINUM ∠ ANGLE ANOD ANODIZED ARCH ARCHITECT, ARCHITECTURE A.D. AREA DRAIN ASPH ASPHALT AHU AIR HANDLING UNIT @ AT AFF ABOVE FINISH FLOOR ADA AMERICANS WITH DISABILITIES ACT	<b>E</b>	EA EACH EWC ELEC. WATER COOLER ELEC ELECTRICAL EL ELEVATION (HEIGHT) ELEV ELEVATION (DRAWING) EQ EQUAL EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR EJ EXPANSION JOINT
<b>B</b>	BD BOARD BM BEAM BITUM BITUMEN BL BUILDING LINE BLK BLOCK BLT BUILT BUR BUILT UP ROOF BLDG BUILDING	<b>F</b>	FWC FABRIC WALL COVERING FIN FINISH FIXT FIXTURE FLSHG FLASHING FLR FLOOR FLUOR FLUORESCENT FD FLOOR DRAIN FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CAB FHC FIRE HOSE CAB FOB FACE OF BRICK FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD FP FIREPROOF FTG FOOTING FRZR FREEZER
<b>C</b>	CAB CABINET CPT CARPET CLKG CAULKING CLNG CEILING CEM CEMENT ☿ CENTER LINE CT CERAMIC TILE CB CHALK BOARD C CHANNEL CLO CLOSET CLR CLEAR CFMF COLD FORMED METAL FRAMING COL COLUMN COMP COMPOSITION/COMPOSITE COND CONDITION CONC CONCRETE COORD COORDINATE CMU CONCRETE MASONRY UNIT CJ CONSTRUCTION JOINT CONT CONTINUOUS CONTR CONTRACTOR CTSK COUNTER-SINK CU CUBIC	<b>G</b>	GALV GALVANIZED GI GALVANIZED IRON GA GAUGE GC GENERAL CONTRACTOR GEN GENERAL GFI GROUND-FAULT INTERRUPTER GFRC GLASS FIBER REINFORCED CONCRETE GFRC GLASS FIBER REINFORCED GYPSUM GFRP GLASS FIBER REINFORCED PLASTER GL GLASS G-LAM GLUE-LAMINATED WOOD GB GRAB BAR GR GRADE GYP BD GYPSUM BOARD
<b>D</b>	DBL DOUBLE DIAG DIAGONAL DISP DISPOSAL DP DAMPROOFING DET DETAIL DIA DIAMETER DIM DIMENSION DWG DRAWING DF DRINKING FOUNTAIN DR DRAIN DS DOWNSPOUT DW DISHWASHER DWR DRAWER	<b>H</b>	HB HOSE BIB HDR HEADER HH HEAD HEIGHT HM HOLLOW METAL HNG HUNG/HANGING HT HEIGHT HORIZ HORIZONTAL HMAC HOT MIXED ASPHALT CEMENT PAVING
		<b>I</b>	IG INSULATING GLASS ID INSIDE DIAMETER IPS IRON PIPE SIZE INSUL INSULATION INT INTERIOR
		<b>J</b>	JAN JANITOR JT JOINT
		<b>K</b>	KIT KITCHEN
		<b>L</b>	LAM LAMINATE LAV LAVATORY LH LEFT HAND LHR LEFT HAND REVERSE LT WT LIGHT WEIGHT
		<b>M</b>	MACH MACHINE MH MAN HOLE MAINT MAINTENANCE/MAINTAIN MAS MASONRY MATL MATERIAL MAX MAXIMUM MC MEDICINE CABINET MCW MINERAL CORE WOOD MDF MEDIUM DENSITY FIBERBOARD MDO MEDIUM DENSITY OVERLAY MEM WP MEMBRANE WATERPROOFING MECH MECHANICAL MET METAL MEZZ MEZZANINE MRF MANUFACTURER MTP METAL TOILET PARTITION MIN MINIMUM MO MASONRY OPENING MTD MOUNTED MUL MULLION MW MICROWAVE
		<b>N</b>	ND NAPKIN DISPOSAL NV NAPKIN VENDOR NIC NOT IN CONTRACT NTS NOT TO SCALE NOM NOMINAL NO NUMBER
		<b>O</b>	OA OVERALL O.C. ON CENTER OFCI OWNER FURNISHED CONTRACTOR INSTALLED OFOI OWNER FURNISHED OWNER INSTALLED OFF OFFICE OD OUTSIDE DIAMETER OPNG OPENING OHANG OVERHANG OPH OPPOSITE HAND
		<b>P</b>	PH PAPER HOLDER PERF PERFORATION PERP PERPENDICULAR PLAM PLASTIC LAMINATE PL PLATE PLWD PLYWOOD PR PAIR PREFAB PREFABRICATED PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT POINT PTD PAINTED POL POLISHED PC PRECAST PWB PRE-FINISHED WALL BOARD PVC POLYVINYL CHLORIDE PVMT PAVEMENT
		<b>Q</b>	QT QUARRY TILE QTR QUARTER
		<b>R</b>	R RADIUS RA RETURN AIR RCP REFLECTED CEILING PLAN REBAR REINFORCING BAR RECEP RECEPTACLE RECT RECTANGULAR RD ROOF DRAIN RE REFERENCE REF REFRIGERATOR
		<b>S</b>	S&R SHELF AND ROD SAN SANITARY SCH SCHEDULE SD SOAP DISPENSER SECT SECTION SF SQUARE FEET SGL SINGLE SH SILL HEIGHT SHLF SHELF SHLVS SHELVES SHT SHEET SHR SHOWER SIM SIMILAR SPC SPECIAL COATING SYSTEM SPEC SPECIFICATION SQ SQUARE FEET STC SOUND TRANSMISSION CLASS ST STL STL STEEL STOR STORAGE STRUCT STRUCTURAL SURF SURFACE SUSP SUSPENDED SYM SYMMETRICAL
		<b>T</b>	T&G TOUNGE AND GROOVE TB TACK BOARD TEL TELEPHONE TEMP TEMPERED/TEMPORARY/TEMPERATURE THK THICK TO TOP OF TTD TOILET TISSUE DISPENSER TDR TOWEL DISPENSER AND RECEPTACLE TV TELEVISION TYP TYPICAL TBL TABLE
		<b>U</b>	UBC UNIFORM BUILDING CODE UL UNDERWRITERS LABORATORIES, INC. UNFIN UNFINISHED UNO UNLESS NOTED OTHERWISE UTIL UTILITY
		<b>V</b>	VENT VENTILATING VER VERIFY VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD VCT VINYL COMPOSITION TILE VWC VINYL WALL COVERING
		<b>W</b>	WC WATER CLOSET WD WOOD WDW WINDOW WF WIDE FLANGE WH WATER HEATER W WITH W/O WITHOUT WP WATERPROOF WS WEATHERSTRIP WT WEIGHT WWF WELDED WIRE FABRIC WW WINDOW WALL
		<b>Y</b>	YD YARD

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A002	AREA CALCULATIONS
A100	SITE + PILING PLANS
A100a	PARKING PLAN
A101	GROUND FLOOR PLAN
A102	GROUND FLOOR PLAN - DIMENSIONED
A103	FIRST FLOOR PLAN
A104	FIRST FLOOR PLAN - DIMENSIONED
A105	SECOND FLOOR PLAN
A106	SECOND FLOOR PLAN - DIMENSIONED
A107	THIRD FLOOR PLAN
A108	THIRD FLOOR PLAN - DIMENSIONED
A109	ROOF PLAN
A201	ELEVATION
A202	ELEVATION
A203	ELEVATION
A204	ELEVATION
A301	BUILDING SECTION
A302	BUILDING SECTION
A303	BUILDING SECTION
A401	INTERIOR ELEVATIONS
A402	INTERIOR ELEVATIONS
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A404	INTERIOR ELEVATIONS
A405	INTERIOR ELEVATIONS
A501	REFLECTED CEILING PLAN
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A602	ELECTRICAL PLANS
A603	ELECTRICAL PLANS
A604	ELECTRICAL PLANS
A701	SPECIFICATIONS
A801	PERSPECTIVES

## SYMBOLS LEGEND

	NORTH ARROW
	BUILDING SECTION TOP NUMBER : DRAWING NUMBER BOTTOM NUMBER : SHEET NAME
	DETAIL REFERENCE TOP NUMBER : DRAWING NUMBER BOTTOM NUMBER : SHEET NAME
	INTERIOR ELEVATION ARROW NUMBER : DRAWING NUMBER CENTER NUMBER : SHEET NAME
	DOOR TAG TOP NUMBER : SIZE (2048 = 20" WIDE 68" TALL) BOTTOM NUMBER : DOOR TYPE NUMBER
	WINDOW TAG TOP : COUNT (IF MULTI) AND SIZE (3068 = 30" WIDE 68" TALL) BOTTOM : HEAD HEIGHT
	LEVEL MARKER

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Architecture + Design

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Galveston TX 77550  
713.906.7236  
cate@risearchdesign.com

CONSTRUCTION  
DOCUMENTS

HILDEBRANDT

26003 Flamingo  
Galveston TX

GENERAL INFO

A001

August 21, 2020

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 527 21st Street #96  
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CONSTRUCTION DOCUMENTS

HILDEBRANDT

26003 Flamingo  
 Galveston TX

AREA CALCULATIONS

A002

August 21, 2020

8/21/2020 3:06:15 PM COPYRIGHT UPON ISSUE; RISE ARCHITECTURE + DESIGN, PLLC; ALL RIGHTS RESERVED

**GENERAL CALCULATIONS**

LOT COVERAGE 45%  
 LOT AREA 10652 SF  
 TOTAL BUILT AREA 4828 SF

PILINGS  
 10X10s (WOOD) 26  
 12X12s (WOOD) 28

GROUND FLOOR/SITE  
 ENCLOSED SPACE (SOLID WALLS) 299 SF  
 ENCLOSED SPACE (LOUVERED WALLS) 299 SF  
 CONCRETE FLATWORK/SLAB 3371 SF  
 DRIVEWAY 1308 SF

POSTS/COLUMNS  
 6X6s 13  
 8X8s 39

CONDITIONED SPACE 3833 SF  
 GROUND FLOOR 34 SF  
 FIRST FLOOR 1983 SF  
 SECOND FLOOR 1527 SF  
 THIRD FLOOR 289 SF

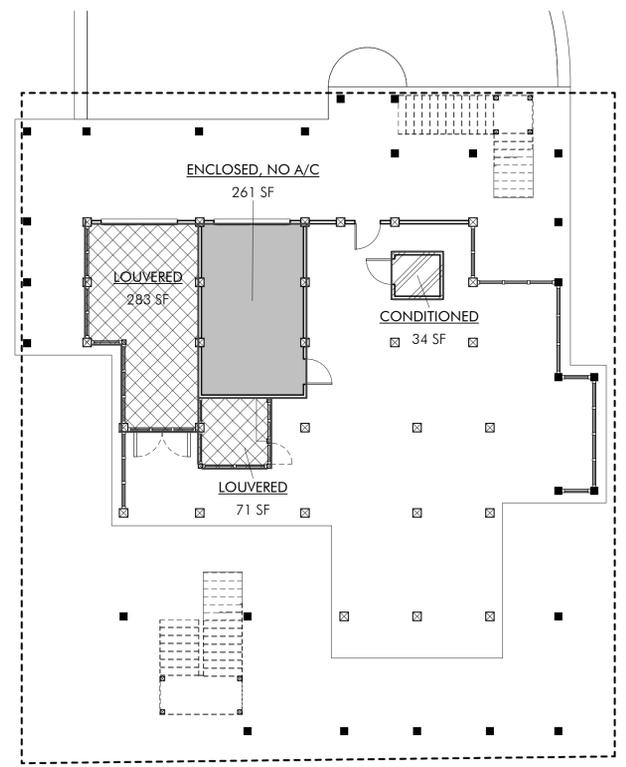
ROOF 5172 SF  
 FIRST FLOOR 1439 SF  
 SECOND FLOOR 2931 SF  
 THIRD FLOOR 802 SF

RAIN-THROUGH DECK 1982 SF  
 FIRST FLOOR 1982 SF  
 SECOND FLOOR 0 SF  
 THIRD FLOOR 0 SF

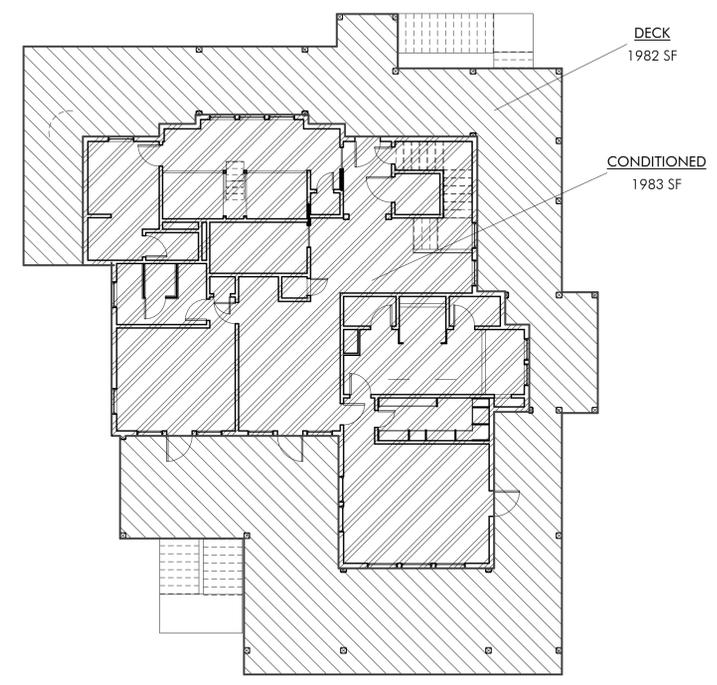
WATERPROOF DECK 1219 SF  
 FIRST FLOOR 0 SF  
 SECOND FLOOR 1079 SF  
 THIRD FLOOR 140 SF

**BUILDING AREA LEGEND**

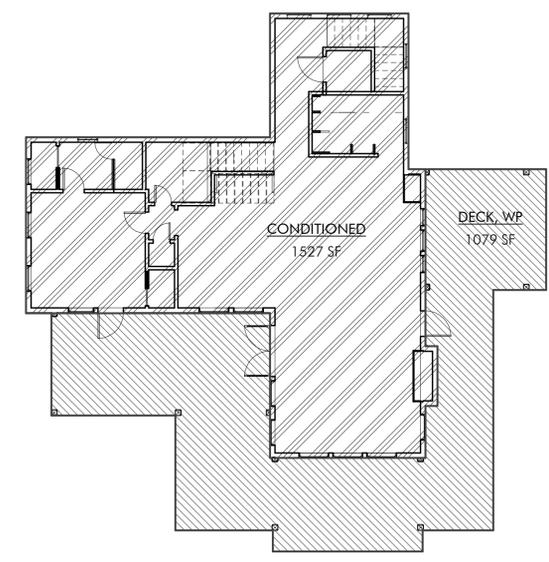
-  CONDITIONED
-  DECK
-  DECK, WP
-  ENCLOSED
-  ENCLOSED, NO A/C
-  LOUVERED



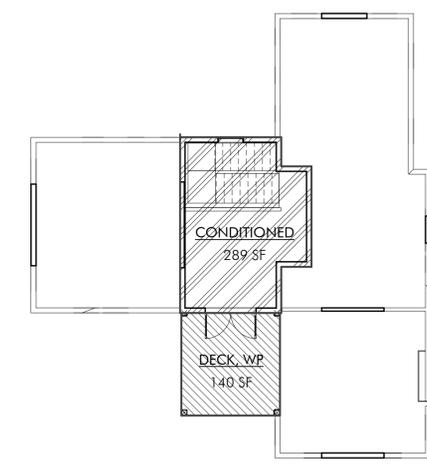
1 GROUND FLOOR  
 1" = 10'-0"



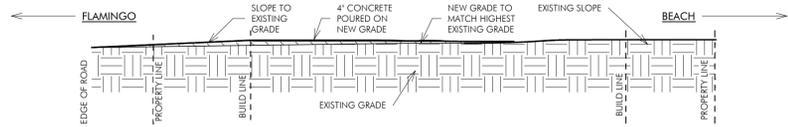
2 FIRST FLOOR  
 1" = 10'-0"



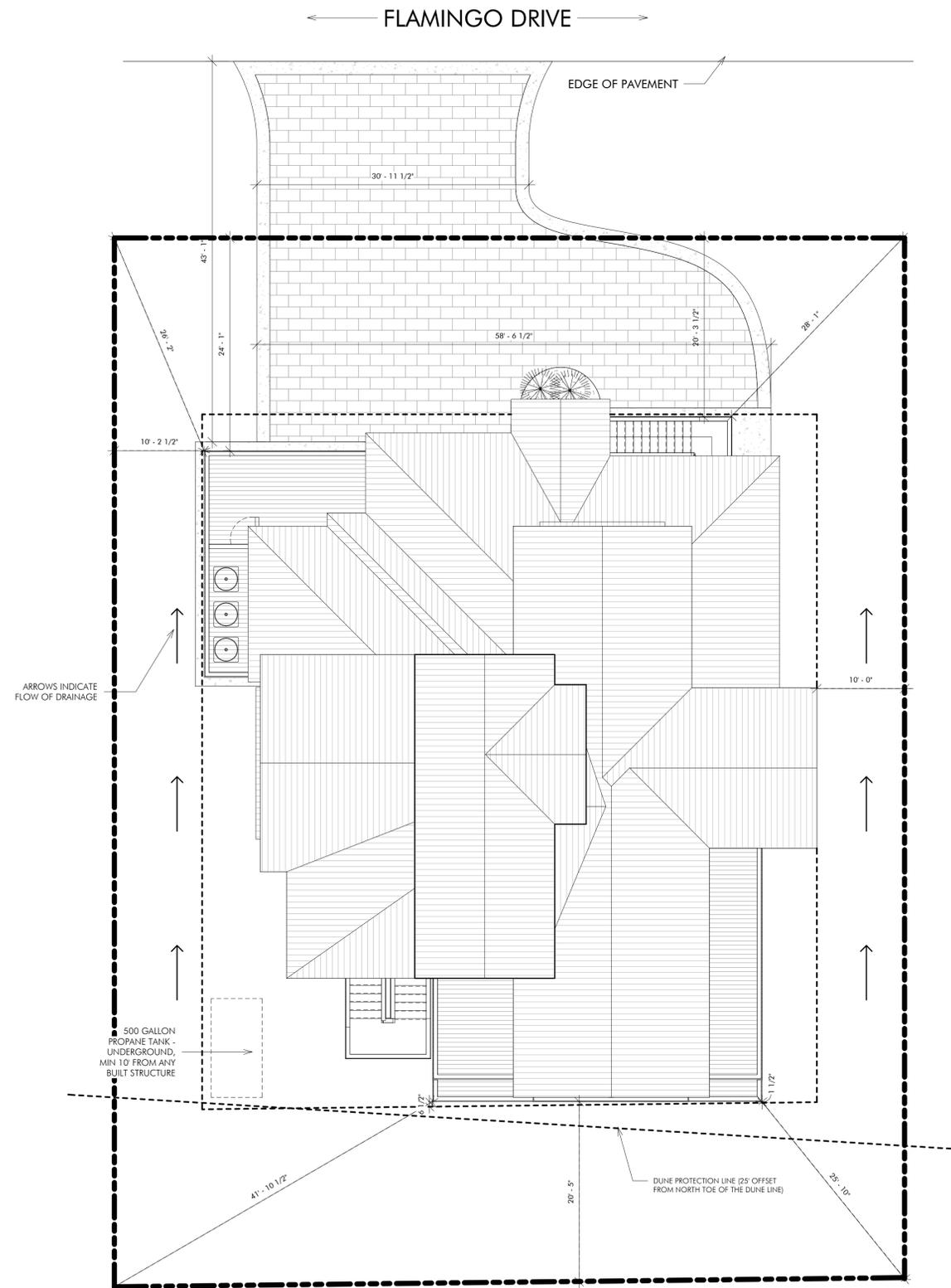
3 SECOND FLOOR  
 1" = 10'-0"



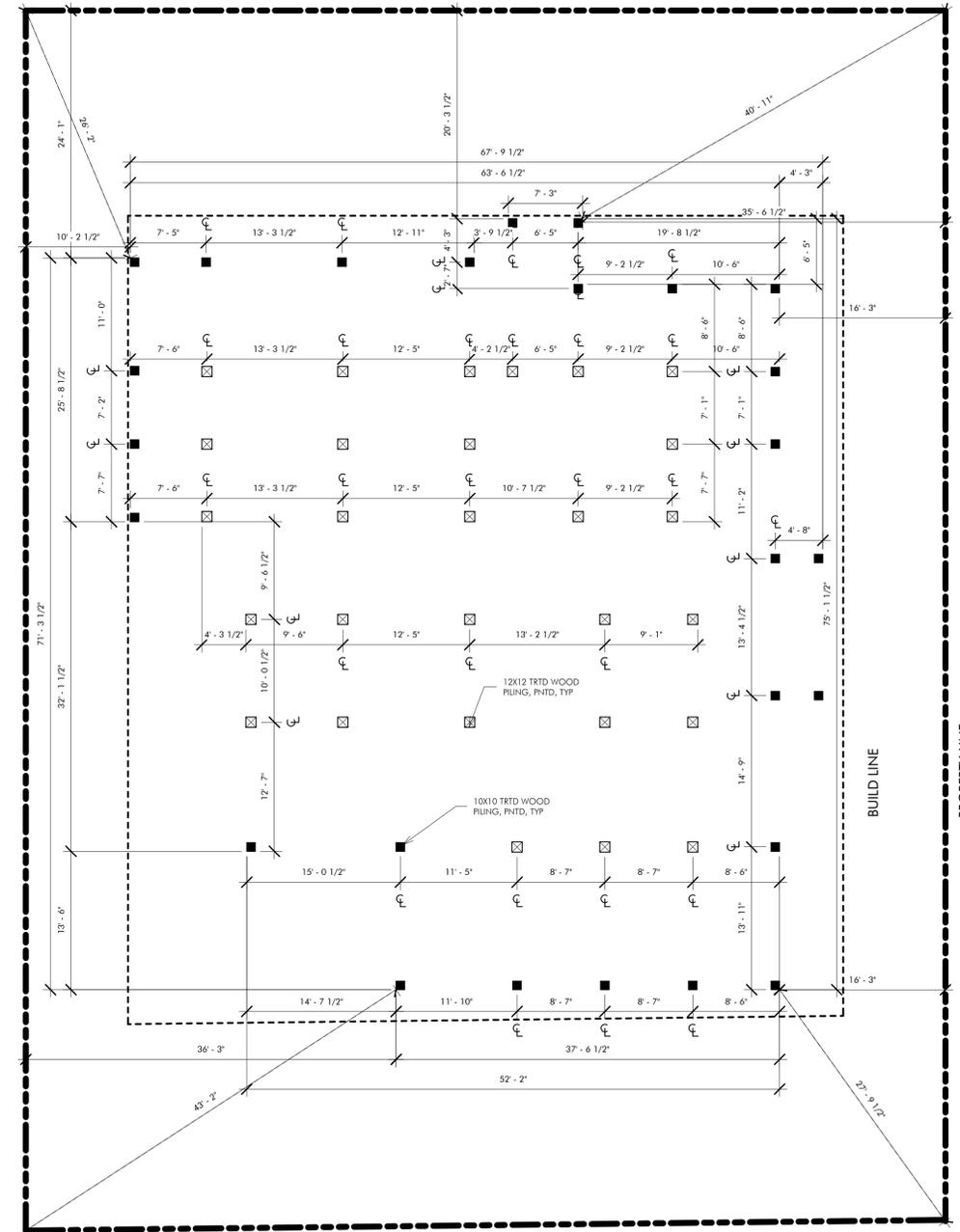
4 THIRD FLOOR  
 1" = 10'-0"



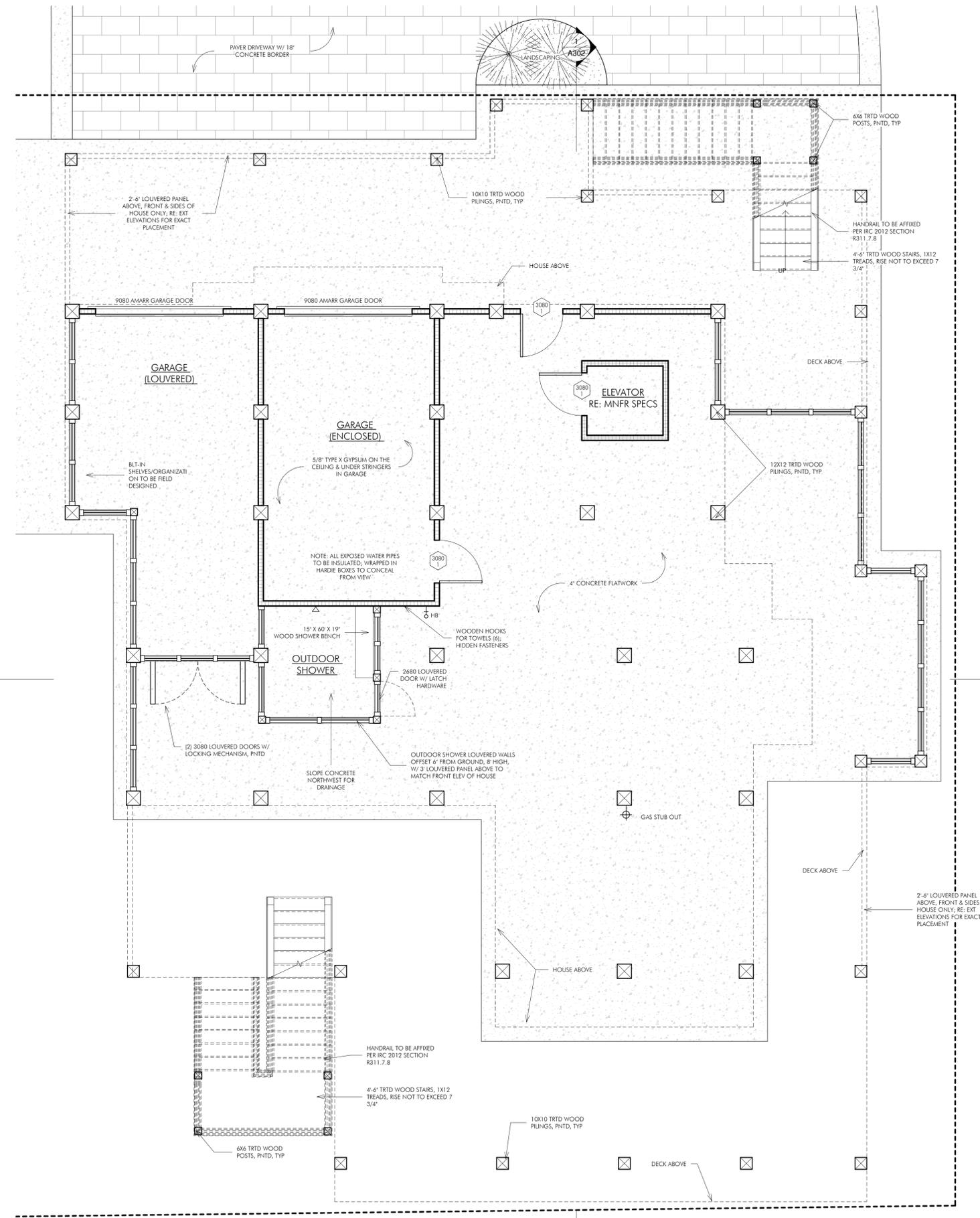
2 SITE SECTION  
1" = 20'-0"



1 SITE PLAN  
1/8" = 1'-0"



3 PILING PLAN  
1/8" = 1'-0"

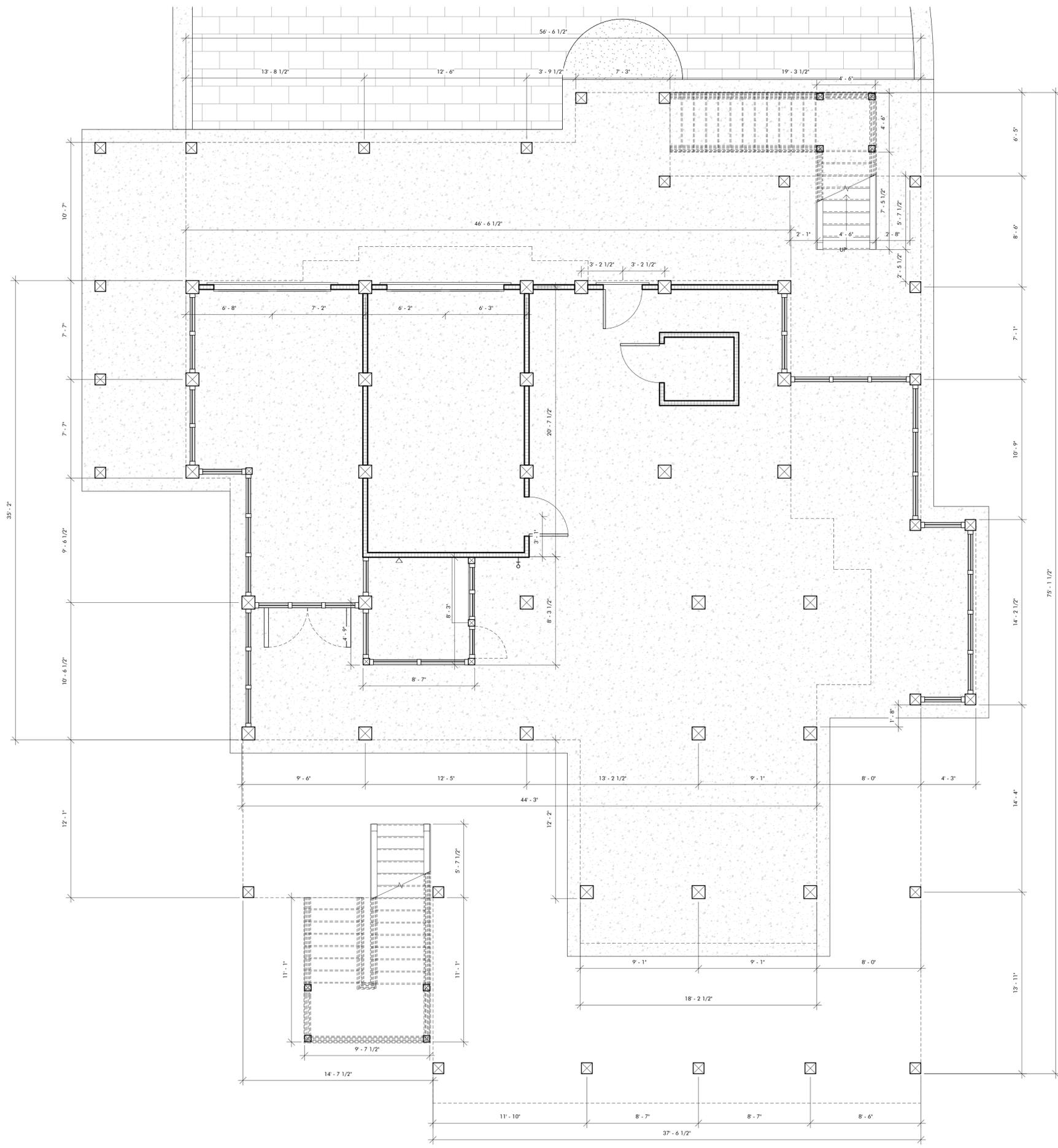


- FLOOR PLAN NOTES**
- RE: STRUCTURAL ENGINEERING FOR INFORMATION REGARDING CONCRETE/FLATWORK, SHEAR WALLS, BRACING, AND STRAPPING.
  - DRAWINGS NOT TO BE SCALED. ARCHITECT TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
  - ALL PLAN DIMENSIONS ARE TAKEN TO THE FACE OF THE STUD OR EDGE OF FOUNDATION, UNLESS NOTED AS CENTERLINE.
  - ALL WINDOW & DOOR DIMENSIONS ARE TAKEN TO THE CENTERLINE OF THE UNIT.
  - VERIFY "ROUGH OPENINGS" WINDOW DIMENSIONS WITH THE WINDOW MANUFACTURER PRIOR TO FRAMING.
  - REFER TO WALL TYPES LEGEND FOR WALL SIZES.
  - IF IMPACT GLASS IS NOT USED, USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH, AND SHOWER DOORS, & AT WINDOWS WITH GLASS THAT FALLS WITHIN 24" FROM SILL TO FINISHED FLOOR.
  - PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND BATH ACCESSORIES.
  - PROVIDE INSULATION ON ALL EXPOSED WATER PIPES.
  - VERIFY LOCATION OF A/C RETURN AIR GRILLS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
  - ALL OWNER SUPPLIED ITEMS TO BE INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE ALLOWANCE FOR NECESSARY MATERIALS & EQUIPMENT FOR PROPER & COMPLETE INSTALLATION.
  - ALL DRYWALL TO BE SCREWED IN, NOT NAILED.
  - DOOR STOPS TO BE PROVIDED ON EITHER SIDE OF EXTERIOR OUT-SWING DOORS TO PROTECT WALL MOUNTED LIGHTS. DOOR STOP DESIGN TO BE APPROVED BY ARCHITECT OR INTERIOR DESIGNER BEFORE INSTALLATION. DOOR STOPS TO BE INSTALLED PRIOR TO INSTALLATION OF LIGHTS.
  - REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS & DIMENSIONS ON BUILT-INS & CASEWORK.
  - ALL DECKING TO BE "PICTURE FRAMED" - ORIENTATION DEPENDENT ON STRUCTURAL ENGINEERING.
  - ALL SHOWER PANS TO BE DROPPED; NO FLOOR HEIGHT TRANSITION BETWEEN BATHROOM FLOOR AND SHOWER FLOOR. ENGINEERING TO REFLECT THIS.
  - SHOWER CONTROLS TO BE PLACED WITHIN REACHING DISTANCE OF DOOR. COORDINATE PLACEMENT WITH ARCHITECT OR CLIENT.
  - SHOWER BENCHES TO MATCH VANITY COUNTERTOPS.
  - VERIFY ALL GAS STUB OUT LOCATIONS WITH CLIENT DURING CONSTRUCTION.

**WALL TYPES LEGEND**

	LAP SIDING EXTERIOR WALL - 2x6 STUD
	SHINGLE SIDING EXTERIOR WALL - 2x6 STUD
	LAP SIDING BREAKAWAY WALL - 2x4 STUD
	LOUVERED WALL
	INTERIOR WALL - 2x6 STUD
	INTERIOR WALL - 2x4 STUD

GROUND FLOOR  
 1/4" = 1'-0"



1 GROUND FLOOR - DIMENSION PLAN  
 1/4" = 1'-0"

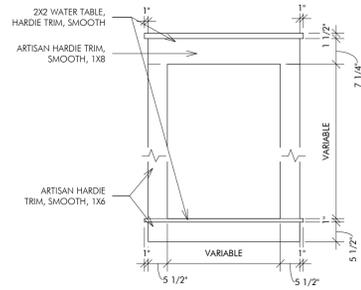
**FLOOR PLAN NOTES**

1. RE: STRUCTURAL ENGINEERING FOR INFORMATION REGARDING CONCRETE/FLATWORK, SHEAR WALLS, BRACING, AND STRAPPING.
2. DRAWINGS NOT TO BE SCALED. ARCHITECT TO BE NOTIFIED IN CASE OF DETAIL AND/OR DIMENSION DISCREPANCY.
3. ALL PLAN DIMENSIONS ARE TAKEN TO THE FACE OF THE STUD OR EDGE OF FOUNDATION, UNLESS NOTED AS CENTERLINE.
4. ALL WINDOW & DOOR DIMENSIONS ARE TAKEN TO THE CENTERLINE OF THE UNIT.
5. VERIFY "ROUGH OPENINGS" WINDOW DIMENSIONS WITH THE WINDOW MANUFACTURER PRIOR TO FRAMING.
6. REFER TO WALL TYPES LEGEND FOR WALL SIZES.
7. IF IMPACT GLASS IS NOT USED, USE TEMPERED GLASS ON ALL FRENCH DOORS, BATH, AND SHOWER DOORS, & AT WINDOWS WITH GLASS THAT FALLS WITHIN 24" FROM SILL TO FINISHED FLOOR.
8. PROVIDE BLOCKING FOR ALL WALL HUNG SHELVES, EQUIPMENT, AND BATH ACCESSORIES.
9. PROVIDE INSULATION ON ALL EXPOSED WATER PIPES.
10. VERIFY LOCATION OF A/C RETURN AIR GRILLS WITH ARCHITECT AND OWNER PRIOR TO INSTALLATION.
11. ALL OWNER SUPPLIED ITEMS TO BE INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE ALLOWANCE FOR NECESSARY MATERIALS & EQUIPMENT FOR PROPER & COMPLETE INSTALLATION.
12. ALL DRYWALL TO BE SCREWED IN, NOT NAILED.
13. DOOR STOPS TO BE PROVIDED ON EITHER SIDE OF EXTERIOR OUT-SWING DOORS TO PROTECT WALL MOUNTED LIGHTS. DOOR STOP DESIGN TO BE APPROVED BY ARCHITECT OR INTERIOR DESIGNER BEFORE INSTALLATION. DOOR STOPS TO BE INSTALLED PRIOR TO INSTALLATION OF LIGHTS.
14. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS & DIMENSIONS ON BUILT-INS & CASEWORK.
15. ALL DECKING TO BE "PICTURE FRAMED" - ORIENTATION DEPENDENT ON STRUCTURAL ENGINEERING.
16. ALL SHOWER PANS TO BE DROPPED; NO FLOOR HEIGHT TRANSITION BETWEEN BATHROOM FLOOR AND SHOWER FLOOR. ENGINEERING TO REFLECT THIS.
17. SHOWER CONTROLS TO BE PLACED WITHIN REACHING DISTANCE OF DOOR. COORDINATE PLACEMENT WITH ARCHITECT OR CLIENT.
18. SHOWER BENCHES TO MATCH VANITY COUNTERTOPS.
19. VERIFY ALL GAS STUB OUT LOCATIONS WITH CLIENT DURING CONSTRUCTION.

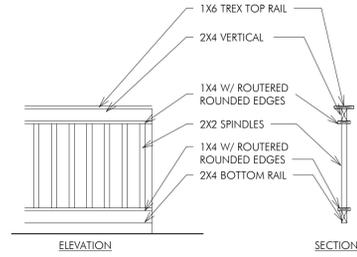
**WALL TYPES LEGEND**

-  LAP SIDING EXTERIOR WALL - 2x6 STUD
-  SHINGLE SIDING EXTERIOR WALL - 2x6 STUD
-  LAP SIDING BREAKAWAY WALL - 2x4 STUD
-  LOUVERED WALL
-  INTERIOR WALL - 2x6 STUD
-  INTERIOR WALL - 2x4 STUD

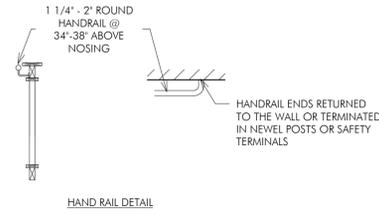




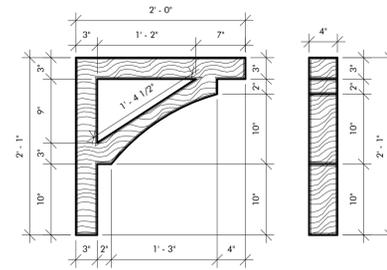
2 EXTERIOR WINDOW TRIM  
1/2" = 1'-0"



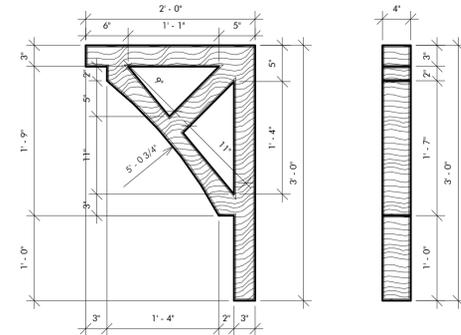
3 RAILING DETAIL  
1/2" = 1'-0"



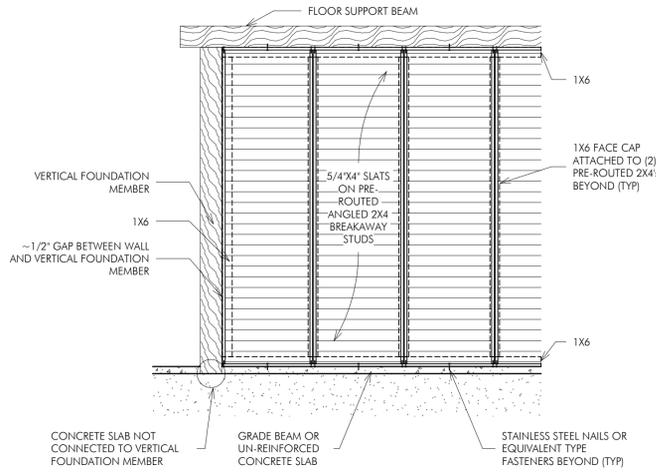
HAND RAIL DETAIL



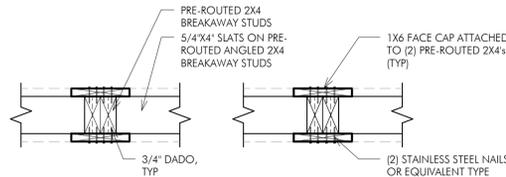
4 BRACKET "A" DETAIL  
1" = 1'-0"



5 BRACKET "B" DETAIL  
1" = 1'-0"



6 LOUVERED WALL ELEVATION  
1/4" = 1'-0"



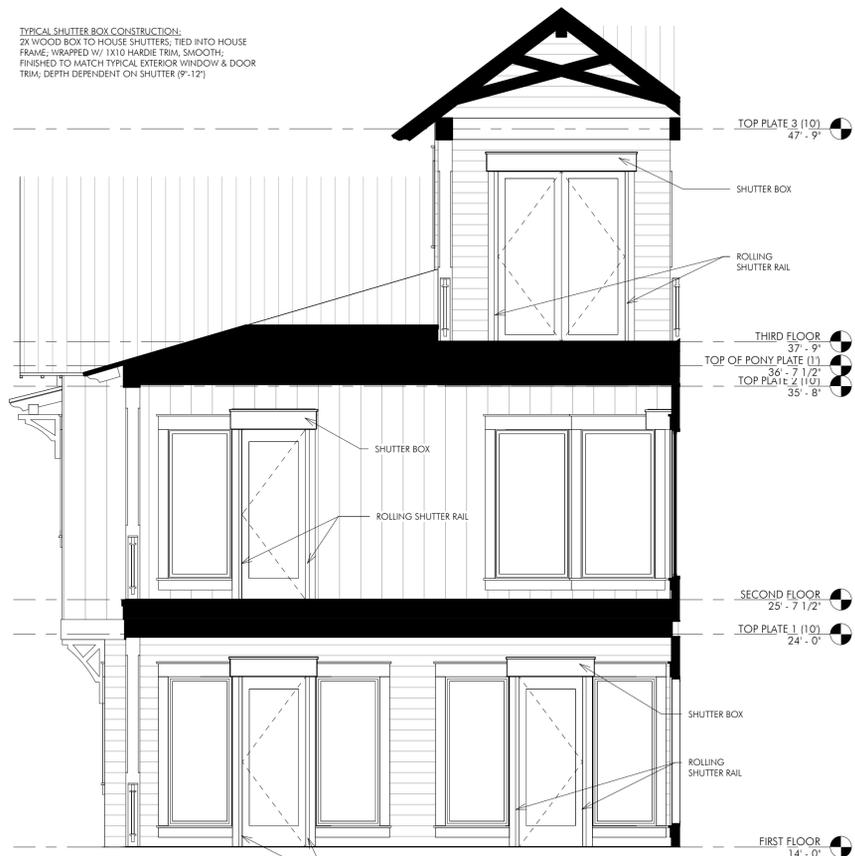
7 LOUVERED WALL PLAN  
1 1/2" = 1'-0"



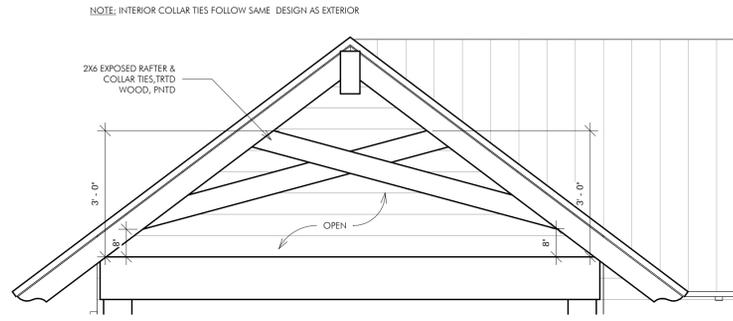
1 NORTH ELEVATION  
1/4" = 1'-0"



TYPICAL SHUTTER BOX CONSTRUCTION:  
 2x WOOD BOX TO HOUSE SHUTTERS, TIED INTO HOUSE FRAME, WRAPPED W/ 1X10 HARDIE TRIM, SMOOTH; FINISHED TO MATCH TYPICAL EXTERIOR WINDOW & DOOR TRIM; DEPTH DEPENDENT ON SHUTTER (9"-12")



2 DOOR SHUTTERS, TYP - SOUTH  
 1/4" = 1'-0"



3 RAFTER & COLLAR TIE CALLOUT  
 1/2" = 1'-0"



1 SOUTH ELEVATION  
 1/4" = 1'-0"

Cate Black, AIA, NCARB  
 527 21st Street #96  
 Galveston TX 77550  
 713.906.7236  
 cate@risearchdesign.com

CONSTRUCTION DOCUMENTS

HILDEBRANDT

26003 Flamingo  
 Galveston TX

ELEVATION

**A203**

August 21, 2020



1 WEST ELEVATION  
 1/4" = 1'-0"

NOTE: PERSPECTIVES & 3D VIEWS ARE MEANT FOR A CONCEPTUAL UNDERSTANDING OF THE HOUSE. PLEASE REFER TO PLAN FOR DETAILS.



**RISE**  
Architecture + Design

Cate Black, AIA, NCARB  
527 21st Street #96  
Galveston TX 77550  
713.906.7236  
cate@risearchdesign.com

CONSTRUCTION  
DOCUMENTS

HILDEBRANDT

26003 Flamingo  
Galveston TX

PERSPECTIVES

**A801**

August 21, 2020

**26003 Flamingo Road Site Photos - updated 09/23/2020**

Looking North





Looking East



Looking South



Looking West



Looking North/Towards Property from the Line of Vegetation



TEXAS GENERAL LAND OFFICE  
GEORGE P. BUSH, COMMISSIONER

September 22, 2020

Via Electronic Mail

Virginia Greb  
Coastal Resources Assistant Manager  
Development Services Department  
City of Galveston  
823 Rosenberg, Room 401  
Galveston, Texas 77550-2103

**Beachfront Construction Certificate and Dune Protection Permit in the City of Galveston**

**Site Address:** 26003 Flamingo Dr, Galveston  
**Legal Description:** Pointe West Sec 1 (2005), ABST 121, Block 1, Lot 8, Acres 0.246  
**Lot Applicant:** Stephanie & Scott Hildebrandt c/o Cate Black  
**Case Number:** 20P-013  
**GLO ID No.:** BDCOG-20-0252

Dear Ms. Greb:

The General Land Office (GLO) has reviewed the application materials for a beachfront construction certificate and dune protection permit for the above-referenced location. The applicant proposes to construct a single-family residence. The proposed construction is located more than 200 feet landward of the line of vegetation, within the Enhanced Construction Zone, and adjacent to the Dune Conservation Area. According to the Bureau of Economic Geology, the area is eroding at a rate of approximately two feet per year.

Based on the information provided to our office for review, we have the following comments:

- Paving or altering the ground below the lowest habitable floor between the line of vegetation and 25 feet landward of the north toe of the dune is no proposed and is prohibited.<sup>1</sup>
- Since the entirety of the construction is located within the Enhanced Conservation Zone, paving used under the habitable structure and for driveways connecting the habitable structure and the street is limited to the use of unreinforced fibercrete in four-foot by four-foot sections, four inches thick with sections separated by expansion joints, or pervious materials.<sup>2</sup> A habitable structure is defined as a structure used or usable for habitation.<sup>3</sup> The area beneath uncovered decks or stairs may not be paved. Reinforced concrete may not be used.

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<sup>1</sup> City of Galveston Beach Access and Dune Protection Plan § 29-90(m)(2).

<sup>2</sup> City of Galveston Erosion Response Plan § 5.

<sup>3</sup> City of Galveston Beach Access and Dune Protection Plan § 29-54.

- The driveway must be limited to the linear width of the primary structure, along the main street, and a minimum of 15% of the front yard must be maintained as open/unimproved area.<sup>4</sup>
- The City must ensure the proposed construction is located as far landward as practicable.<sup>5</sup>
- The City may only permit the applicant to construct an enclosure beneath the habitable structure if the walls are breakaway or louvered and the construction is consistent with the requirements of the National Flood Insurance Program.<sup>6</sup>
- The City must ensure the proposed construction is consistent with FEMA minimum requirements or with the FEMA approved local ordinance.<sup>7</sup>
- The City must ensure the proposed habitable structure is designed for feasible relocation.<sup>8</sup>
- The proposed construction activities must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, cause significant changes to dune hydrology, adversely affect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.<sup>9</sup>
- The City shall not issue a certificate or permit authorizing construction unless the construction activities will minimize impacts on natural hydrology and will not cause erosion of adjacent properties or critical dune areas.<sup>10</sup>

If you have any questions, please contact me at (512) 463-5232 or at [michelle.culver@glo.texas.gov](mailto:michelle.culver@glo.texas.gov).

Sincerely,



Michelle Culver  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

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<sup>4</sup> City of Galveston Erosion Response Plan § 5.

<sup>5</sup> City of Galveston Erosion Response Plan § 5 & 31 Tex. Admin. Code § 15.6(b).

<sup>6</sup> 31 Tex. Admin. Code § 15.6(f)(4).

<sup>7</sup> 31 Tex. Admin. Code § 15.6(e)(3).

<sup>8</sup> 31 Tex. Admin. Code § 15.6(f)(2).

<sup>9</sup> 31 Tex. Admin. Code § 15.4(d).

<sup>10</sup> 31 Tex. Admin. Code § 15.6(g).



# 20P-030

# STAFF REPORT

**ADDRESS:**

1615 Avenue K

**LEGAL DESCRIPTION:**

Property is legally described as M.B. Menard Survey, Lot 4, Block 76, a Subdivision in the City and County of Galveston, Texas.

**APPLICANTS/REPRESENTATIVE:**

Rowan Dougherty and Wallace W. Wood, Jr.

**PROPERTY OWNERS:**

Rowan Dougherty and Wallace W. Wood, Jr.

**ZONING DISTRICT:**

Residential Single-Family, Historic (R-3-H)

**HISTORIC DISTRICT:**

Lost Bayou

**REQUEST:**

Request for designation as a Galveston Landmark

**STAFF RECOMMENDATION:**

Approval with Conditions

**EXHIBITS:**

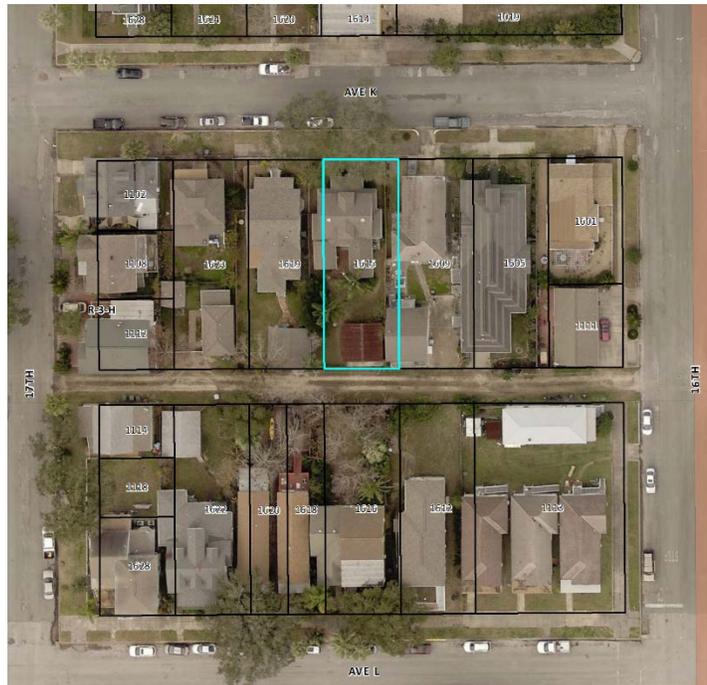
- A – Applicant’s Submittal
- B – Historic Sites Inventory Sheet

**STAFF:**

Daniel Lunsford  
 Planner  
 409-797-3659  
 dlunsford@galvestonTX.gov

**Public Notice and Comment:**

Sent	Returned	In Favor	Opposed	No Comment
23				



## Zoning and Land Use

Location	Zoning	Land Use
Subject Site	Residential Single Family, Historic District (R-3-H)	Residential
North	Residential Single Family, Historic District (R-3-H)	Residential
South	Residential Single Family, Historic District (R-3-H)	Residential
East	Residential Single Family, Historic District (R-3-H)	Residential
West	Residential Single Family, Historic District (R-3-H)	Residential

## Executive Summary

The applicants are requesting designation of the above referenced address, as a Galveston Landmark.

## Analysis

As per Article 10 of the Land Development Regulations, the following criteria should be considered during the Landmark Designation review process:

**1. The character, interest, or value as part of the development, heritage, or cultural characteristics of the City of Galveston, Galveston County, the State of Texas, or the United States.**

Through Galveston's period of expansion between the city's founding and the 1900 Storm, small, modest worker and laborer cottages were common, many built as rent houses. The James and Mary Williams house at 1615 Avenue K is an example of the numerous humble cottages that were originally built in the Lost Bayou area for members of the working class that helped to fuel Galveston's growth in its early years.

**2. Representative of an established and familiar visual feature of a neighborhood, community, or city.**

The 2015 Galveston Historic Sites Inventory (Attachment B) lists the date of construction as circa 1890; however, the house is likely older than that. The Folk Victorian house at 1615 Avenue K was originally built sometime before 1871 as a 28 foot by 29 foot raised cottage with full-width front porch; this configuration appears on the 1871 Camille Drie birds-eye view drawing of the city (attachment A). Over time numerous changes were made to the cottage, including the addition of a bedroom at the rear of the house, the addition of a raised gambrel roof and Craftsman-style architectural details in 1925, and a third addition to the east side of the house in 1945. These historic additions are still present on the house today.

**3. Association with the lives of people significant in the city, region, state or national past.**

According to available records, James and Mary Williams were the earliest known owners of the house. Both were originally from England by way of New York; they lived on Rosenberg Street but also owned 1615 Avenue K. The 1885 fire destroyed their house on Rosenberg, and they moved to the Avenue K house afterward. The Williams family added the rear bedroom around that time. Later owners include

Alexander and Berohelia Gaston, who owned the house between 1925 and 1945; Mr. Gaston was a barber who had a shop at the Tremont Hotel.

The first recorded renters were Maria Hamilton and Milton Macilwayn, between 1870 and 1878. Maria Hamilton appears on pre-Emancipation slave rolls in Milam and Upshur counties in Texas, and Milton Mcilwayn was a Union soldier who settled in Texas after the Civil War.

After Hamilton and Macilwayn, store clerk Charles Wild rented the house for about two years, followed by Ada Goldman (also a store clerk) and her family, among others.

**4. Retention of historic integrity, meaning that the property possesses several, and usually most, of the following aspects of integrity: location, design, setting, materials, workmanship, feeling or association.**

The James and Mary Williams House retains its historic integrity and retains its original location, design, setting, materials, workmanship, feeling and association. While it began as a Folk Victorian style house, it currently exhibits a number of historic modifications that reflect the needs and preferences of past owners.

**Financial Incentives for Historic Properties**

The property is in the Lost Bayou historic district, and is not eligible for the Financial Incentive for Historic Properties for new Galveston Landmarks.

**Other Reviews**

The Landmark Commission heard this request at the October 6, 2020, meeting. City Council has the final decision regarding the request for a Landmark Designation. The request will be heard at the regular meeting of October 22, 2020.

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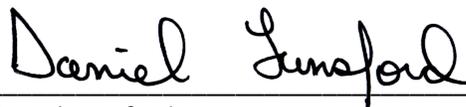
**Staff Recommendation**

Staff recommends approval with the following condition:

*Standard Condition:*

1. As with all properties containing a Historic Overlay Designation, including Landmark Designations, exterior alterations to the property will be subject to review and approval by the Landmark Commission and must conform to the Design Standards for Historic Properties of Galveston, Texas.

Respectfully Submitted:



Daniel Lunsford

September 24, 2020

Date



Catherine Gorman, AICP  
Assistant Director/HPO

September 24, 2020

Date

ROWAN DOUGHERTY  
WALLACE WOOD  
1615 Avenue K  
Galveston, TX 77550-4916

Catherine Gorman, Asst. Director, HPO  
City of Galveston  
823 Rosenberg  
Galveston, TX 77550

Dear Ms. Gorman:

Enclosed please find our application to the Landmark Commission for a Landmark Designation on our home located in the Lost Bayou Historic District at 1615 Avenue K. With our application are all our supporting documentation.

It is our understanding that the next scheduled meeting of the Commission would be October 5, 2020 with the Deadline of September 8<sup>th</sup>. With following meetings of the Planning Commission scheduled on 10/6 and the City Council on 10/23. And that we could attend those meetings via telephone.

Please let us know if you require any additional documentation with our application. As stated on our application, our cell # is (409) 739-5466 and our email address is [rowanwally7675@gmail.com](mailto:rowanwally7675@gmail.com).

Thank you very much.

Sincerely yours,  
Rowan Dougherty  
Wallace Wood

City of Galveston, Texas  
Landmark Commission  
Application for Landmark Designation

Property Information

Street Address: 1615 Avenue K  
Legal Description: Lot #4, Block 76, City of Galveston  
Present Use of Property: Personal Residence  
Improvements: No new improvements proposed other than current on-going maintenance .

Historic Information

1. Historic Owners & Residents:

1870 - 1878	Mrs. Maria Hamilton & Milton Macilwayn
1878 - 1880	Charles Wild
1880 - 1882	Henry & Ada Gohlman
1882 - 1884	Elizabeth Bettison
1884 - 1906	James & Mary Williams
1906 - 1907	Louis Elbert
1907 - 1945	Alexander & Berohelia Gaston
1945 - 1950	William & Lela Woods
1950 - 2005	Margaret Tuthill
2005 - 2007	James & Judith Johnson
2007 - 2011	Terrance & Allison Tysall
2011 - 2017	Jane Chance
2017 - Present	Rowan Dougherty & Wallace Wood

2. Construction Dates:

Original building date sometime before 1871 as the home footprint was a small 28' by 29' rectangular raised cottage with full length front porch as shown in the 1871 print drawings of Mr. Camille N. Drie as seen in the Galveston Daily News on March 10, 1871.

1886	Southeast bedroom wing (rear of house)
1925	Raised attic roof and created gambrel style roof. Another wing at the rear on the southwest side of the home was added and used for the in-house kitchen. Arts & crafts decorative elements were added to the front exterior.
1945	Den build-out on eastside house

City of Galveston, Texas  
Landmark Commission  
Application for Landmark Designation  
Property Address: 1615 Avenue K

Statements of Historical and Cultural Significance:

The home is an example of the numerous humble cottages that were originally built in the Lost Bayou District for the members of working class that helped to fuel Galveston's growth in it's early years.

Statement of Architectural Significance:

The home still retains some of the simple lines of the original cottage style as seen all over in the Lost Bayou District, but now has unique Arts & Craft elements added in the 1925 remodeling.

Attachments

1. Current Picture - Front View of Property
2. Current Picture - Rear View of Property
3. Current Picture - Garage Located at Rear of Property on Alley
4. Earliest Documented Drawing of Property - Camille N. Drie's Birdseye View of Galveston as found in Galveston Daily News dated March 10, 1871
5. Close-up View of Property from Mr. Drie's 1871 Drawing
6. 1921 Aerial View of Galveston showing the Property as seen in the Galveston Monthly dated September 2019
7. Historic Record with Description and Estimate of Cash Value from the Rosenberg Library Archives
8. Sanborn Insurance Maps dated 1899, 1921, & 1950 showing the House and Lot Location
9. Survey of Property dated 10-6-2006 by Westar Land Surveyors

**1615 AVENUE K  
Galveston**





**1615 AVENUE K**  
**Galveston**



**1615 AVENUE K**  
**Galveston**



## Galveston in 1871

The bird's-eye-view phenomenon began in Texas when the editor of the *Galveston Daily News* announced in his March 10, 1871, edition that "Mr. C. Drie exhibited to us some drawings that he is making for a map of Galveston, which will exhibit the buildings on every lot within the city. It is an isometric projection, and promises to be a fine picture of the Island City, and will be invaluable to all property holders."<sup>[1]</sup> Through a series of newspaper ads, Drie offered Galvestonians an opportunity to purchase his print for \$3 per copy.<sup>[2]</sup> When he had secured a sufficient number of subscribers, he sent his drawing to Chicago, where the Chicago Lithographing Company printed it, and returned with the finished prints several weeks later.

Galveston was the commercial center of Texas during most of the nineteenth century and attracted more artists than any other Texas city, with the exception of San Antonio. Located on the north side of Galveston Island, the city occupied less than one-eighth of the small land mass, but its residents had grand dreams of it becoming the Manhattan of the Gulf of Mexico. When he first saw the city in 1841, Josiah Gregg found it to be "handsome though too monotonous in appearance." By the time artist C. O. B?hr visited, probably during 1858, the city was in the midst of an "astonishing" building boom, "speculation in real estate" was "astronomical," and the city had begun to take on more of the characteristics that its citizens envisioned. Several three-story brick buildings with handsome iron fronts had gone up, and Clusky & Moore had begun construction of the new federal Customs House in 1857 <sup>[3]</sup> A reporter for *Harper's Weekly* had concluded in 1866 that there were "few towns in the South where so much Northern energy and the effects of Northern capital are as visible as in Galveston."<sup>[4]</sup>

Drie began his work on Galveston in the same manner as other bird's-eye-view artists—by choosing the perspective from which the city would be depicted, making liberal use of any maps that might have been available to him, or perhaps making his own, and going around town sketching individual buildings from his chosen perspective. What the Galveston editor called an "isometrical projection" made it appear that the perspective had been taken from a 45-degree angle above the city. In fact, Drie's technique more nearly resembles an axonometric projection, because he did not employ vanishing points in his composition—the streets run parallel to each other—suggesting that he was probably more

# Galveston

Monthly

SEPTEMBER 2019

*Complimentary*

Exploring Your Island Paradise

PHOTOGRAPH BY JEFFREY W. HARRIS



**1615 AVENUE K**  
**Galveston**

# **GALVESTON**

**A TRIBUTE TO 180 YEARS**

**1839-2019**

---

*By Kimber Fountain*



H: 9/6

DESCRIPTION AND ESTIMATE OF THE PRESENT CASH VALUE

Of the 1 1/2 stor. metal roof asphalt roofed with Building,  
 situated on Lot No. 4 in Block No. 76 No. 1613,  
45 Wm Woods, W. 150 in the City of Galveston, owned by J. H. Williams, et al. 1841  
 Occupancy: Basement B.P. for attic  
 First Floor by (C) A. Williams for dwelling  
 Second Floor by " for attic rooms ceiled & paneled  
 Third Floor by " for "

When built? Remodeled 1925 DESCRIPTION: 1925  
Old, built 1886 Last repaired or painted? 1925  
 Is it on leased ground? no When does lease expire?  
 What is used for lighting? Old Is gasoline used? no  
 Size of building? 28' x 29' x 12' x 23' Is there a porch?  
 Number of rooms Plastered Rough-ceiled and paneled Ceiled and paneled by B. Williams 4 Halls 1 Bath room 1  
 Number closets? 1 Porches? 1 Mantels and grilles?  
 Number of flues, and construction thereof? brick chimney at an edge

ESTIMATE

The above described building would cost at present value of materials and labor, 700  
242 4/10/35 Est 5/18/50 25% 10% 100 300  
 Deduct for depreciation from age, use or location, 25% 10% 100 300  
 Making the present Cash Valuation 800

OTHER IMPROVEMENTS.

5-16-45 Stable 29  
Don't know 20  
Screening 60  
 Deduct for depreciation from age, use or location, per cent  
 Making the present Cash Value 800

REMARKS.

Est. Rev. 7/18/29 37  
 This is a copy of a document in Galveston, Texas.  
 The Rosenberg Library, Galveston, Texas, has been furnished in any way  
 Not to be Copied or Reproduced without written permission from the Rosenberg Library

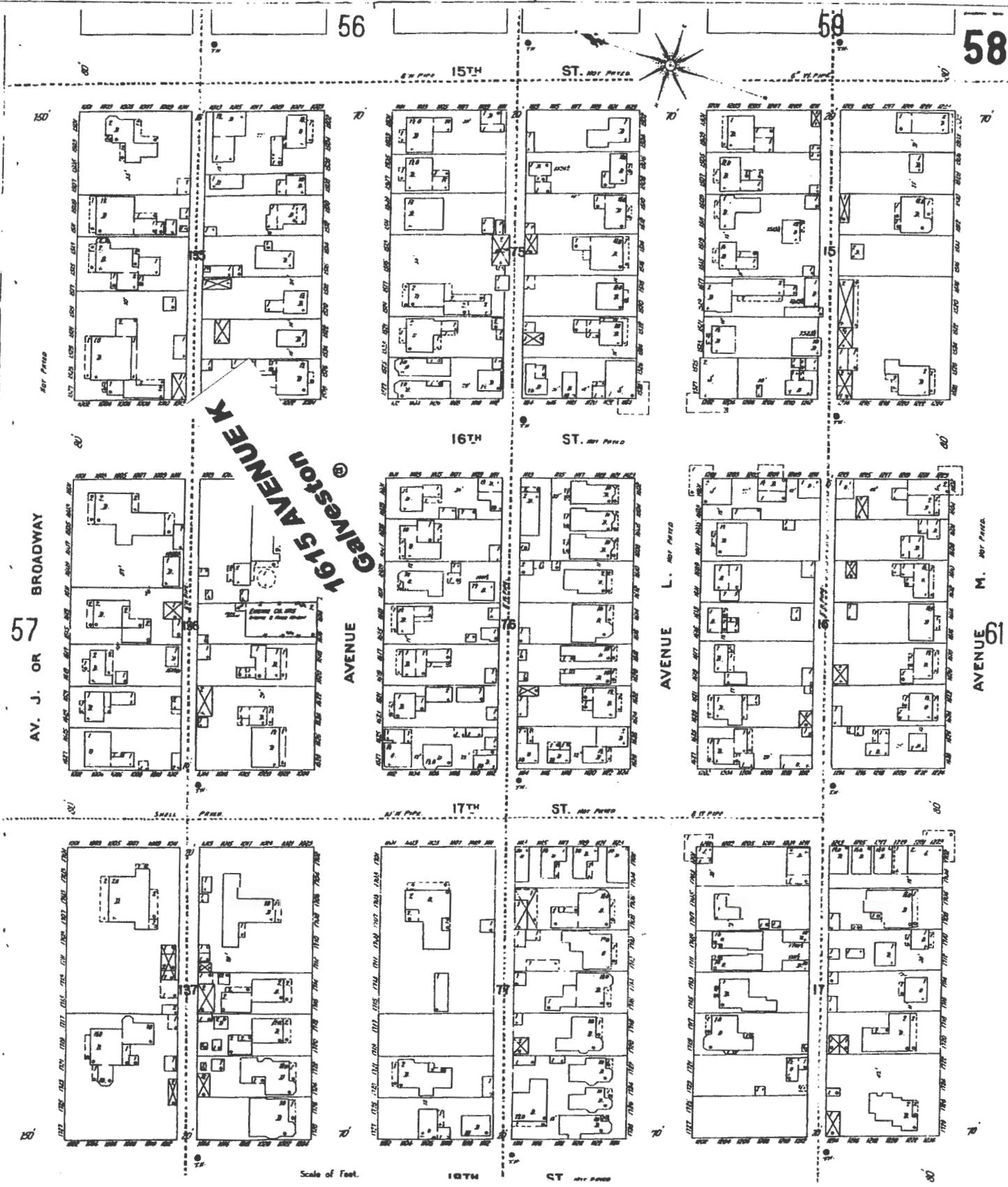
J. N. 310 31 Aug 07  
BK & Co 27 Dec 66  
 Galveston, Texas, 10 day of July 1902  
BK & Co

1615 AVENUE K Galveston

Inspector

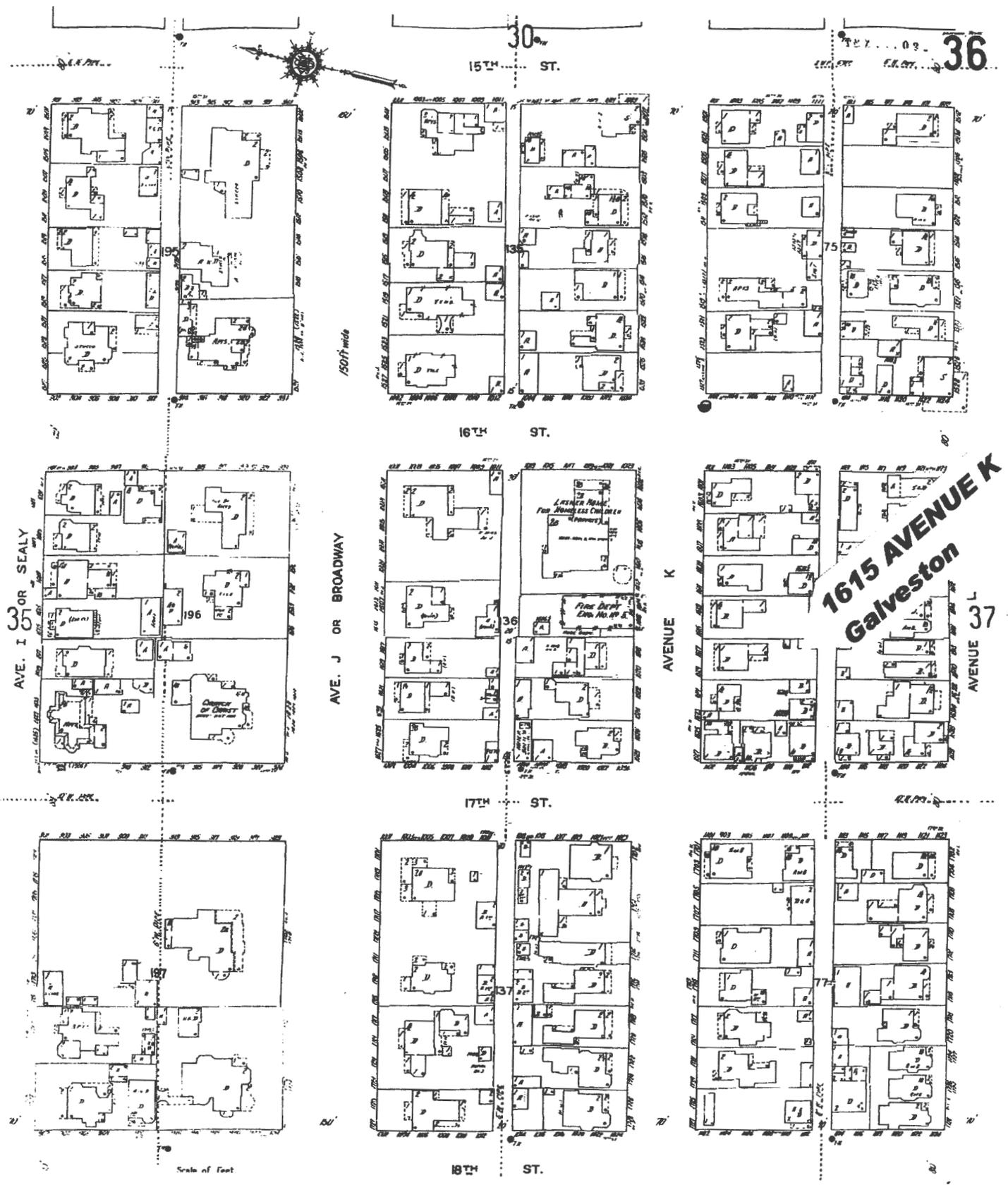


# Sanborn Insurance Map - 1899



1615 Ave K

# Sanborn Insurance Map - 1912



36

15<sup>TH</sup> ST.

16<sup>TH</sup> ST.

17<sup>TH</sup> ST.

18<sup>TH</sup> ST.

AVE. I OR SEALY 35

AVE. J OR BROADWAY

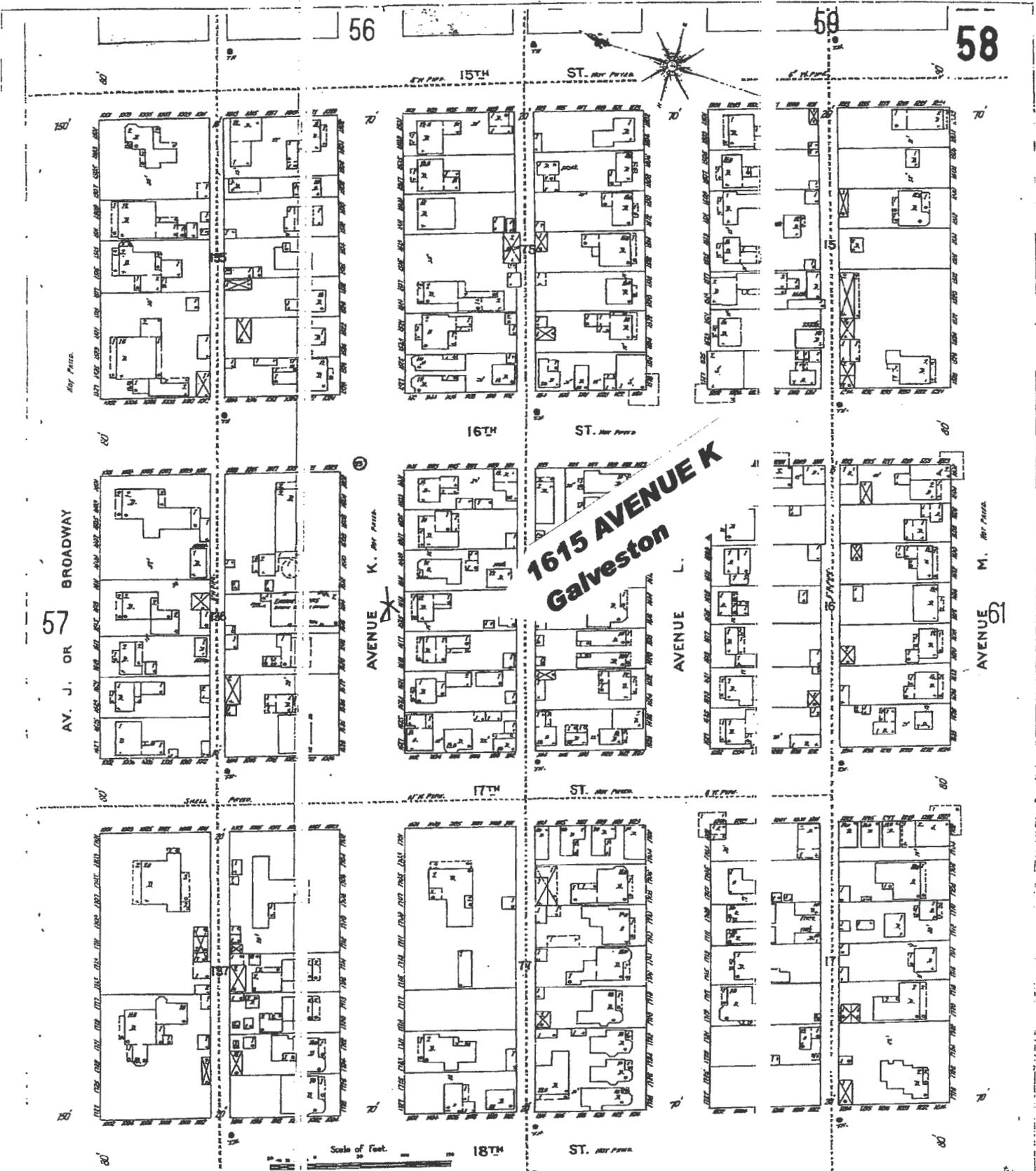
AVENUE K

AVENUE L 37

1615 AVENUE K  
Galveston

Scale of Feet

# Sanborn Insurance Map - 1950



56

59

58

15TH

ST. NEW YORK

16TH

ST. NEW YORK

AV. J. OR BROADWAY

57

AVENUE K

1615 AVENUE K  
Galveston

AVENUE L

AVENUE M

60

17TH

ST. NEW YORK

18TH

ST. NEW YORK

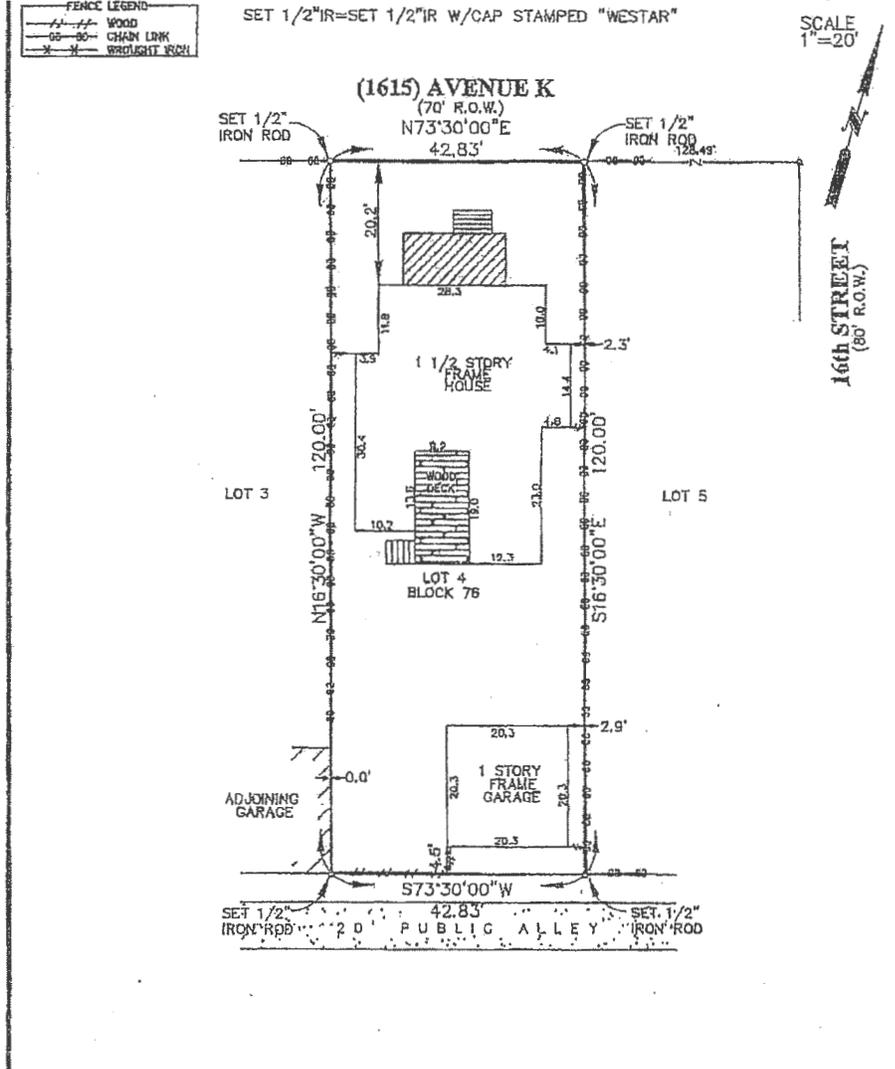
Scale of Feet

FENCE LEGEND

	WOOD
	CHAIN LINK
	WROUGHT IRON

SET 1/2" IR = SET 1/2" IR W/CAP STAMPED "WESTAR"

SCALE  
1" = 20'



Note: The bearings shown hereon are based on common and accepted usage.

BUYER: James Johnson and Judith Johnson 1615 Avenue K

DESCRIBED PROPERTY:

Lot Four (4) in Block Seventy Six (76), in the City and County of Galveston County, Texas, according to the map or plat thereof in common usage.

*James Johnson* *Judith M. Johnson*



**Westar**  
LAND SURVEYORS, INC.

1610 South Gordon - Alvin, Texas 77511  
(281) 388-1159 • Fax: (281) 388-0317

G.F. 416749

Date: 10-6-05

Job: 34365



Registered Professional Land Surveyor  
Texas Registration No. 4601

I, Steven H. Stafford, Registered Professional Land Surveyor, State of Texas, do hereby certify that the above Plat represents an actual survey made on the ground on this day under my supervision, and there are no discrepancies, conflicts, shortages in area or boundary lines, or any encroachments, or overlapping of improvements, to the best of my knowledge and belief, except as shown herein.

Note: There are no natural drainage courses on this property. Note: This property does lie in a flood hazard zone according to FEMA.

4334890027 E 12-6-02 Zone "AE"

B.H.  
JWS

**1615 AVENUE K**  
**Galveston**

**From:** [Rowan/Wallace Dougherty/Wood](#)  
**To:** [Daniel Lunsford](#)  
**Subject:** [EXTERNAL] Landmark Application for 1615 Avenue K  
**Date:** Thursday, September 10, 2020 8:31:53 PM

---

Email to: Daniel Lunsford <DLunsford@galvestontx.gov>  
Dated: 9-10-20  
RE: 1615 Avenue K

Daniel:  
Thank you for your email.

All of my information that I was able to obtain was from the historical records at the Rosenberg Library, most especially the Galveston City directories, Ancestry.com., and the Galveston County real estate records. As you probably know the most of County records before 1885 were destroyed in the great 1885 fire.

I was unable to find any information as to who originally built and the owned cottage. The property originally was recorded as a rental property.

Maria Hamilton and Milton Macilwayn were the first recorded renters of the cottage. Maria was a former slave, as first recorded in Milam County, TX on the slave rolls and subsequently in 1860 in Upshur County, TX. Maria married Milton in 1865. From what information I was able to find is that he was a Union soldier who settled in Texas after the war.

The only thing that I was able to find out about Charles Wild was that he was a store clerk in Galveston. He rented the cottage for two years.

Henry Gohlman with his wife Ada, their daughter Mary, and servant Lissie Steele lived and rented the cottage for two years from 1880 to 1882. Mr. Gohlman was store clerk on the Strand.

Elizabeth Bettison was a widow and lived in the cottage with her sons Isaac and Lutan. Isaac was a clerk at JP Boone and Lutan was a laborer. Mrs. Bettison moved from the cottage and subsequently moved to 415 E Avenue K.

The first recorded owners that I was able to find were the Williams family. Originally, they lived on Rosenberg (25th), but their residence was destroyed in the 1885 fire. They had bought 1615 Ave K sometime before the fire (1884), and moved in afterwards. Mr.& Mrs. (James & Mary) Williams were originally from England, immigrated to New York before moving to Texas. They were married in 1835. James was a night watchman at the Mallory Line wharf. As in my notes, the Williams made the first recorded additions to the cottage in 1886, namely the southeast bedroom wing.

After James' death, Mary sold the cottage to Louis Elbert who was a bookkeeper. Mr. Elbert owned the cottage for only a year before he sold it to Alexander and Berohelia Gaston. The Gastons owned the

cottage for a number of years (1907-1945). I am not sure they live at the cottage as they also owned property at 1511 Ave K. Mr. & Mrs. Gaston were Afro- Americans. Mr. Gaston was a barber and had shop in the Tremont Hotel.

As noted in my notes, in 1925 the Gastons made additional changes to the cottage, namely, raising the attic roof to create a better living space that created the gambrel style roof line; added another wing (southwestern side) that was used as a in-house kitchen. The arts & crafts decorate elements were also added.

In 1945, William & Lela Woods added the build-out wing on the east-side of the cottage, creating another bedroom. The Woods were also Afro-Americans. Mr. Woods was also a barber and worked with Mr. Gaston.

I hope this information will provide additional support to our application.

Thank you for your help,  
Rowan Dougherty & Wallace Wood

1615 AVE K, GALVESTON, TX 77550

HHM-14036

Parcel ID 689280

Year Built ca. 1890

High = Individually Eligible/Listed; Contributing

District Lost Bayou Historic District

Priority Rating Medium

Medium = Contributing

Building Faces N

Low = Non-Contributing

## DESCRIPTION

Type Single-Family House  
Center Passage

Stylistic Influences Folk Victorian

Stories 2

Exterior Wall Materials Horizontal wood board

Foundation Type Raised basement

## ROOF

Roof Shape Mansard, Side-gabled

Roof Materials Asphalt composition shingles

No. of Dormers 1

Dormer Roof Type Hipped

Gable End Treatment Same as wall treatment

Gable End Openings Windows

## WINDOWS &amp; DOORS

Window Types Double-hung

Window Frame Materials Wood

Window Light Configuration 6/2

Window Features Wood shutters

Door Types Single door primary entrance

Door Features Transom light

## CHIMNEYS

## PORCH

Porch Type Partial width, One story

Porch Location Front

Porch Roof Flat

No. of Porch Bays 1

Porch Support Type Box columns, Brick piers

Porch Features Squared wood balusters

## INTEGRITY

Condition Good

Alterations Porch materials replaced



TX\_GalvestonCounty\_1615\_Ave\_K\_1.jpg



# 20P-033 STAFF REPORT

**ADDRESS:**  
 Vacant Tracts Located East of Sea Breeze, South of San Luis Pas Road/FM 3005, and west of 8 Mile Road

**LEGAL DESCRIPTION:**  
 Properties are legally described as The Preserve at West Beach, Section 1 (2010), Abstract 121, East 44.38 (5972-0-0-0), and Beachside Village, Section 5 (2019), Abstract 121 Residential Reserve, in the City and County of Galveston, Texas.

**APPLICANT/REPRESENTATIVE:**  
 Kahala Development, LP c/o Debbie Reinhart

**PROPERTY OWNER:**  
 Kahala Development, LP and Marquette Galveston INV.

**ZONING:**  
 Traditional Neighborhood, District-Height and Density Development Zone, Zone-6 (TN-HDDZ-6)

**REQUEST:**  
 Preliminary Plat

**APPLICABLE LAND USE REGULATIONS:**  
 Article 6 - Land Development Regulations

**STAFF RECOMMENDATION:**  
 Disapproved without prejudice

**EXHIBITS:**  
 A – Aerial Map  
 B – Current Plat  
 C – Beachside Village Section 6 Preliminary Plat

**STAFF:**  
 Adriel Montalvan, Senior Project Manager  
 409-797-3645  
 amontalvan@galvestontx.gov

**Public Notice and Comment:**

Sent	Returned	In Favor	Opposed	No Comment
68				

**City Department and Private Utility Notification Responses:**  
 No Objections



**Executive Summary:**  
 In 2009, Marquette Galveston investments, Ltd. platted 34.076 acres of the 59.9 acre tract between 8 Mile Road to the east, Beachside Village Section 4 to the west, FM 3005 to the north, and the Gulf of Mexico to the south as single-family lots; however, this subdivision was never developed and no improvements were installed.

Currently, the applicant is requesting to incorporate 4.59 acres of the subject tract as part of Beachside Village, Section 6; extend Starfish Drive and develop the Beachside Village Residential Reserve. The applicant is proposing to add thirty five (35) residential single-family lots to the existing 210 residential lots in the subdivision.

**Physical Characteristics:**

The subject site is located east of Seabreeze Lane, north of the Gulf of Mexico, south of FM 3005, and west of 11 Mile Road. The Zoning on the property is Traditional Neighborhood (TN) in a Height and Density Development Zone, Zone-6 overlay.

**Zoning and Land Use:**

Location	Zoning	Land Use
Subject Site	Traditional Neighborhood with Height and Density Development Zone, Zone 6 (TN-HDDZ-6)	Vacant
North	Traditional Neighborhood (TN) with Height and Density Development Zone, Zone 6 (TN-HDDZ-6)	Vacant
South	Residential, Single Family (R-1)	Gulf of Mexico – open water
East	Traditional Neighborhood (TN) with Height and Density Development Zone, Zone 6 (TN-HDDZ-6)	Vacant
West	Traditional Neighborhood (TN) with Height and Density Development Zone, Zone 6 (TN-HDDZ-6)	Single-Family Residential Detached Homes

Please note the Height and Density Development Zone, Zone-6 (HDDZ-6) regulations are design guidelines primarily for new commercial construction. Single-Family construction is exempt from the HDDZ requirements.

**Lot and Block Configuration, Conformance with Traditional Neighborhood District:**

The table below indicates the minimum lot area, dimensions, and setback requirements for the Traditional Neighborhood (TN) zoning district:

**TRADITIONAL NEIGHBORHOOD LOT REQUIREMENTS (TN)**

Type	Min. Lot Area	Min. Lot Width	Min. Lot Depth	Front Set Back	Side Set Back	Rear Set Back
SF-D (Single Family, Detached)	1,500 square feet	24 feet	N/A	0 feet	5 feet	10 feet

All of the proposed lots meet the minimum requirements for width, depth, and area for Traditional Neighborhood (TN) zoning. Please reference Exhibit "C" for the proposed preliminary plat.

**Open Space:**

The preliminary plat includes Reserves "A – F" intended for open space and landscape. The preliminary plat also includes a 150-foot wide Beach Access Reserve to the south of Beachside Drive right-of-way.

The final plat must identify these common open spaces such as a "park," "open space," or similar designation identifying it as restricted in use, per Article 6, 6.307 (B) (2). Generally the site plan or subdivision plat shall delineate the location of open space and identify it as private or public.

The City of Galveston Dune Protection and Beach Access Plan defines the “public beach” as it is defined in the Texas Natural Resources Code, Sec. 61.013(c), which is as follows:

*Any beach bordering on the Gulf of Mexico that extends inland from the line of mean low tide to the natural line of vegetation bordering on the seaward shore of the Gulf of Mexico, or such larger contiguous area to which the public has acquired a right of use or easement to or over by prescription, dedication, or estoppel, or has retained a right by virtue of continuous right in the public since time immemorial as recognized by law or custom.*

In accordance with Article 6, 6.307 (B) (2), the area defined as the public beach in the proposed development shall be identified in the final plat as a public beach conforming to the City of Galveston Beach Access.

The applicant shall include an open space maintenance plan as part of the application for development approval of the final plat. This plan shall designate and indicate the boundaries of all parks or open space, and shall specify the manner in which the park or open space shall be perpetuated, maintained, and administered, in accordance with Article 6, 6.307 (F).

**Beachfront Construction:**

All of the proposed subdivision is located landward of public beaches and seaward of the first public road generally parallel to the public beach (FM 3005). Therefore, prior to any construction commencing, the Texas General Land Office (GLO) must review all construction activities and a Beachfront Construction Certificate/Dune Protection Permit required for areas within 1,000 feet of mean high tide.

Per the City of Galveston Erosion Response Plan § 5 – Plat Notation, the plat shall contain a note advising on the location of the property within the Dune Conservation Area that reads substantially as follows: “The lots or parcels shown on this plat may be located within the Dune Conservation Area and may be subject to more stringent building requirements or limitations under State of Texas or City of Galveston regulations.” The Dune Conservation Area is defined as “areas along Galveston’s Gulf Coast where beachfront dunes naturally occur and where restored (man-made) dunes may be located. The Dune Conservation Area shall also include lands within 25’ of the north toe of existing or restored (man-made) dunes.” (Erosion Response Plan § 3.1).

**Beach Access and Easements:**

Staff has informed the applicant that the City of Galveston is required to submit an amendment to the City of Galveston Beach Access Plan regarding vehicular control provisions to the Texas General Land Office for certification prior to any modifications or restrictions of vehicular traffic on a public beach, pursuant to Texas Natural Resources Code § 61.022. Amendments to the City of Galveston Beach Access Plan cannot be achieved through approval of a plat.

The City of Galveston Dune Protection and Beach Access Plan (Section 29-2(o)(1)) and the Texas Administrative Code (31 TAC §15.7(h)) require of existing and new developments that parking is adequate to accommodate one car for each 15 feet of linear beach.

There is currently approximately 3,126 linear feet of beach adjacent to the Beachside Village Subdivision. The proposed new section of this development includes approximately 150 linear feet of beach. The table below provides a summary of the required number of parking spaces for this development, both for the existing sections and the proposed new section:

<b>Location</b>	<b>Linear Feet of Beach</b>	<b>Number of Required Parking Spaces</b>
Beachside Village (Sections 1 thru 5)	3,126	209
Beachside Village (proposed Section 6)	150	10
<b>Total</b>	<b>3,276</b>	<b>219</b>

Beachside Village Subdivision is designated as Beach Access Point #8 in the City of Galveston Beach Access Plan, which designates this access point as having restricted access and parking of vehicles from the beach. In lieu of providing vehicular access to the beach, the development is required to provide an equal or enhanced right to use and have access to the beach, including the required number of parking spaces. According to the applicant, the additional required beach access parking will be located on Ohana Lane and Beachside Drive rights-of-way. Failure to comply with these requirements will result in resuming full vehicular access to the beach.

Additionally, the Texas Administrative Code (31 TAC §15.7(h)(5)) requires local jurisdictions to preserve or enhance beach access for disabled persons in the event that vehicular access is restricted. For every beach area where vehicles are prohibited, at least one ingress/egress access way accessible to electric golf carts is required. Golf carts used for the transportation of a person with a physical disability are required to conspicuously display a disabled parking placard. Signage is required to be posted at vehicular ingress/egress access ways to inform beachgoers that gas powered golf carts are prohibited, and that access is to be provided to electric golf carts to transport a person with a physical disability.

As Beachside Village Subdivision/Beach Access Point #8 is a location where vehicular traffic and parking is restricted from the beach, at least one ingress/egress access way is required for electric golf carts to transport a person with a physical disability.

The applicant should install conspicuously posted signage and pavement markings to explain the nature and extent of vehicular controls, parking areas, and access points, including access for disabled person.

**Easements:**

The preliminary plat indicates a 14-foot wide utility easement on-site. If other easements are necessary or where required by city departments or private utility companies, the applicant shall indicate the location of easements on the final plat in accordance with Article 6, 6.308.

**Utilities and Drainage:**

No construction plans were submitted with the preliminary plat request. Construction drawings must be reviewed and approved and adhere to all conditions posed by city departments and/or private utility companies before a final plat can be filed.

Proposed utilities shall conform to Article 6, 6.305, and proposed drainage improvements shall conform to Article 6, 6.306, as well as any comments from the Texas General Land Office with regard to drainage.

**Variances from the Subdivision Regulations:**

The applicant proposes a variance to minimum street right-of-way width from sixty feet to fifty feet. The applicant is also proposing a permanent street without a turnaround of at least fifty feet outside street radius. Any variances from the Land Development Regulations, Traditional Neighborhood District must be approved by the Zoning Board of Adjustment. Any variances from the Subdivision Regulations, Article 6, must be approved by the Planning Commission, in accordance with Section 12.301(D) of the Land Development Regulations.

**Substantial Compliance:**

*The following items are not in conformance with the Subdivision Regulations and should be considered for a determination of substantial compliance:*

***Article 6 6.303 (G) Street Design and Layout***

***G. Geometric Design.***

***1. Street Right-of-Way Width. Street right-of-way width shall conform with the following:***

a. Arterial streets shall have the minimum right-of-way width needed to accommodate the ultimate traffic volumes anticipated as determined by the Planning Commission. The applicant is not required to dedicate more than 120 feet of right-of-way width unless the City or other agency compensates the applicant for the cost of the additional dedication.

b. Collector streets shall have a minimum right-of-way width of 60 feet.

c. Local streets shall have a minimum right-of-way width of 60 feet.

The applicant has indicated on the Preliminary plat that the proposed Beachside Drive right-of-way width is 50-foot. Article 6, Subdivision Regulations requires the street width to be 60-feet in width for a local street.

#### **Article 6 6.303 (F)(2) Street Design and Layout**

2. Dead-End Streets. Permanent dead-end streets shall have a "turn around" with an outside street right-of-way radius of at least 50 feet at the closed end.

The preliminary plat, as submitted, does not include a required turnaround as described above.

Alternative Standard of Compliance with Subdivision Regulations:

1. An alternative standard of compliance enables an applicant to propose variations from certain subdivision standards prescribed by these regulations and still achieve substantial compliance with the regulations.

The Planning Commission is given the authority to approve plats that are not in conformance with the City's Subdivision regulations provided the following items are met:

- a. The Planning Commission may approve a plat, site plan, or PUD plan with an alternative standard of compliance for any requirement of this article if it determines that the alternative standard meets or exceeds the requirement of this article and conforms to the City's infrastructure policies identified in the City of Galveston 2011 Comprehensive Plan, Infrastructure Master Plan, Parks and Open Space Master Plan, and complies with all applicable laws and these regulations.
- b. This Section does not apply to the following standards:
  1. Application submittal requirements;
  2. Frontage requirements;
  3. The City's Zoning regulations;
  4. Required widths for streets, sidewalks, and alleys;
  5. Requirements for the type of infrastructure to be included in a proposed subdivision; or
  6. The maintenance and guarantee of improvements provisions.
- c. In determining that the alternate standard complies with this article, the Planning Commission shall consider:
  1. Any applicable goals, objectives and policies of the 2011 Comprehensive Plan;
  2. The existing and proposed land use of the general vicinity;
  3. The probable effect of the proposed development upon traffic, public health, safety convenience, and welfare in the vicinity; and
  4. The impact of the proposed development on exposure to flood damage.

Specific conditions and approved alternate standards shall be shown as notes on the plat and in the official minutes of the Planning Commission.

#### **Planning Commission:**

The Planning Commission must approve a plat if it conforms to the general plan of the municipality and to the general plan for the extension of the municipality. The Planning Commission's approval of a plat or replat request is evidence that the application meets the requirements of Chapter 212 of the Texas Local Government Code and Land Development Regulations. The Planning Commission's approval does not indicate that the plat or replat complies with any applicable

deed restrictions. The Planning Commission does not have the legal authority to reject an Applicant's request for a plat or replat because of conflicts with applicable deed restrictions. Compliance with pertinent deed restrictions is the sole responsibility of the applicant.

**Staff Recommendation:**

Staff recommends case 20P-033 be disapproved without prejudice subject to the following corrections:

***Specific Conditions to Case 20P-033:***

- 1) Specific conditions and approved alternate standards shall be indicated as notes on the final plat;
- 2) The right-of-way for Beachside Drive shall be increased to 60 feet if Planning Commission does not judge the proposed width to be substantially compliant;
- 3) A turnaround of at least fifty feet outside street radius shall be provided at the end of Beachside Drive if Planning Commission does not judge the proposed design to be substantially compliant;
- 4) The plat shall contain a note advising of the location of the property within the Dune Conservation Area, per the City of Galveston Erosion Response Plan § 5 – Plat Notation. The note shall read substantially as follows: “The lots or parcels shown on this plat may be located within the Dune Conservation Area and may be subject to more stringent building requirements or limitations under State of Texas or City of Galveston regulations”;
- 5) The applicant must adhere to all aspects of Section 29: Planning-Beach Access Dune Protection & Beachfront Construction, obtain a Beachfront Construction Certificate/Dune Protection permit from the General Land Office, and must conform to all comments from the Texas General Land Office regarding the Beachfront Construction Certificate/Dune Protection permit for the subdivision infrastructure construction and regarding any existing or proposed future modifications to beach access;
- 6) Prior to final plat application filing:
  - a. The applicant shall address and incorporate all comments or conditions of approval from the Fire Marshal, other City Departments, and private utility companies into the final plat design;
  - b. The applicant shall receive approval of water, sanitary sewer, roadway, drainage, access, sidewalks, street lighting, and infrastructure construction plans by all City departments in accordance with Article 6, Division 6.200 – Guarantee and Maintenance of Infrastructure Improvements;
  - c. The applicant shall install and maintain at least one ingress/egress access way and proper signage to indicate its location for electric golf carts to transport persons with disabilities to the beach; and
  - d. The applicant shall submit a parking plan for the subdivision delineating all required beach access points, accessible beach access points, and beach access parking spots to the City of Galveston for review by the General Land Office.
- 7) The final plat shall include all parking, landscaping, and lighting plans;
- 8) The subdivider shall pay for all improvements required except as otherwise provided by City Code;

***Standard Conditions for Preliminary Plat requests:***

- 9) The applicant shall adhere to all comments/conditions received from City departments and/or private utility companies. Should conformance with the comments/conditions require alterations to the project, as approved, the case must be returned to the Planning Commission for additional review and approval. Failure to comply with all comments/conditions may result in penalties and/or revocation of this preliminary plat;
- 10) Prior to any construction or site work the applicant shall receive approval of a Pollution Prevention Control Plan by the City Engineer/Public Works Department;
- 11) Prior to the issuance of any building permits for the subject development, the applicant shall submit a final plat for the subject tract of property, in accordance with the City of Galveston Subdivision Regulations;
- 12) The project shall conform to the Land Development Regulation requirements regarding lot area, width, depth, and overall development layout;
- 13) The applicant shall comply with requirements for a Final Plat in accordance with the Land Development Regulations; and
- 14) In accordance with the Land Development Regulations, all street names, addresses, easements, and all front, side and rear building lines must be shown on the final plat.

Respectfully Submitted,



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Adriel Montalvan  
Senior Project Manager

09/25/2020

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Date



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Catherine Gorman, AICP  
Assistant Planning Director / HPO

9/29/2020

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Date

11279

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# Exhibit A

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## SAN LUIS PASS

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Gulf of Mexico

This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

### Legend

Parcels



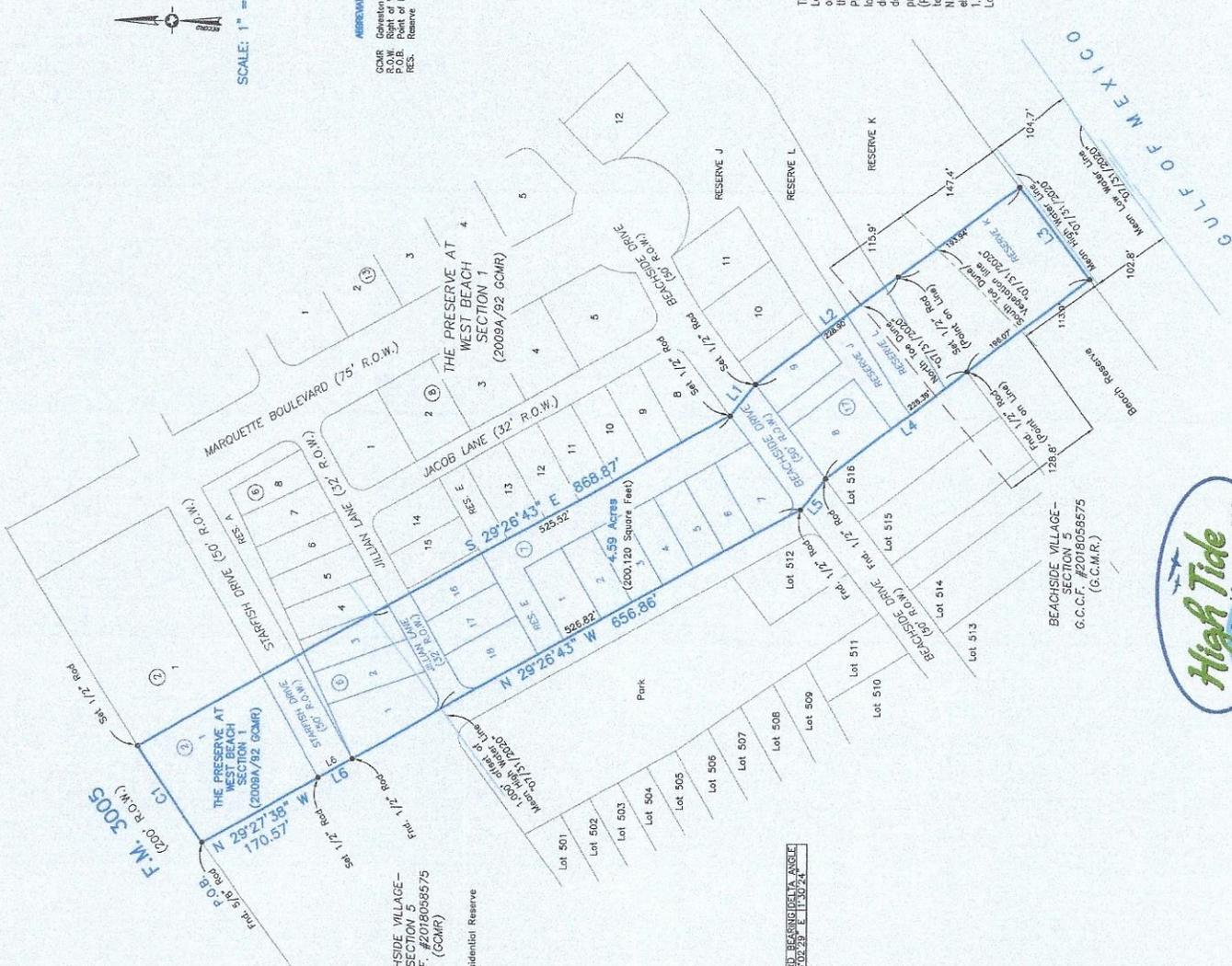
# Exhibit B



SCALE: 1" = 100'

**ABBREVIATIONS:**

- GCNR Galveston County Map Records
- P.O.B. Right of Way
- RES. Residential Reserve



The Mean High Water Line and the Mean Low Water Line depicted hereon were located on JULY 31, 2020, and are referenced to the tide gauge located on the Galveston Island Causeway (at the intersection of the location of the Mean High Water Line) as determined by transferring the NOAA determined MHW and MLW elevations that are published for the N.C.S. Monument "WALL" (PID AW0588) to the site using RTK GPS techniques. The elevation used for the N.C.S. Monument "WALL" is 14.11 feet, the elevation used for the Mean High Water is 1.17 feet, and the elevation used for Mean Low Water is -0.30 feet.

- NOTES:**
- 1) This property does lie within the 100 Year Flood Plain as established by the Federal Emergency Management Agency;
  - 2) This property is subject to any restrictions of record and easements shown on this plat from power lines as established by OSHA (call your power company);
  - 3) Bearings based on Monumentation of the recorded plat;
  - 4) Surveyed without benefit of a Title Report.

LEAGUE CITY OFFICE  
 200 HOUSTON AVE, SUITE B | LEAGUE CITY, TX 77583  
 Mailing: P.O. BOX 86142 | DALLAS, TX 75282

**METS AND BOUNDS DESCRIPTION:**  
 Being a 4.59 acre tract of land out of THE PRESERVE AT WEST BEACH, SECTION 1, a subdivision in Galveston County, Texas, as shown on Plat Record 2009A, Map No. 92, of the Map Records in the Office of the County Clerk of Galveston County, Texas, said tract being further described as follows:

**BEGINNING** at a 5/8 inch rod found at the Northeast corner of Residential Reserve in BEACHSIDE VILLAGE - SECTION 5, a subdivision in Galveston County, Texas, as shown on Plat Record 2018058575, of the Map Records in the Office of the County Clerk of Galveston County, Texas, said point also lying in the Southern right-of-way; line of T.M. 3005, being a 200 foot radius of 5640.35 feet, an arc length of 148.32 feet and a long chord which bears N 56°02'29" E, a distance of 148.32 feet to a 1/2 inch rod set for corner;

**THENCE**, through the interior of said THE PRESERVE AT WEST BEACH, SECTION 1 subdivision, the following 3 courses and distances:  
 S 29°26'43" E, a distance of 868.87 feet to a 1/2 inch rod set for corner;  
 S 51°23'49" E, a distance of 51.55 feet to a 1/2 inch rod set for corner;  
 S 37°14'28" E, a distance of 226.90 feet passing a 1/2 inch rod set for corner;  
 for a total distance of 422.84 feet to a point in the South line of Reserve K, of said Preserve at West Beach, Section 1, of the Southeast corner of the herein described tract;

**THENCE**, S 52°54'37" W along the South line of said Reserve K, a distance of 656.86 feet to the Northeast corner of a subdivision, and the Southeast corner of the herein described tract;

**THENCE**, along and with the Eastern line of said BEACHSIDE VILLAGE - SECTION 5, the following 5 courses and distances:  
 N 37°14'28" W, at a distance of 196.07 feet passing a 1/2 inch rod found marking a point on line, and continuing for a total distance of 422.46 feet to a point in the South line of Reserve K, of said Preserve at West Beach, Section 1, of the Southeast corner of the herein described tract;

**THENCE**, S 50°43'28" W, a distance of 51.42 feet to a 1/2 inch rod found on the Northern line of said Beachside Drive, for corner;

**N 29°26'43" W**, a distance of 656.86 feet to a 1/2 inch rod found for corner;

**N 29°14'00" W**, a distance of 170.50 feet to a 1/2 inch rod found for corner;

**N 29°27'36" W**, a distance of 50.57 feet to the boundaries a calculated area of 4.59 acres (200,120 Square feet) of land.

COURSE	BEARING	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	S60°02'29" E	148.32	148.32	N 56°02'29" E	11°30'24"
C2	S 51°23'49" E	51.55	51.55		
C3	S 37°14'28" E	226.90	226.90		
C4	N 37°14'28" W	196.07	196.07		
C5	N 50°43'28" W	51.42	51.42		
C6	N 29°26'43" W	656.86	656.86		

I hereby certify that on the below date, the herein described property, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.

*Stephen C. Blasley*  
 Stephen C. Blasley  
 Registered Professional  
 Land Surveyor No. 58586



REVISED:	AUGUST 13, 2020
SURVEY DATE:	JULY 31, 2020
FILE NO.:	5972-0000-0000-000
JOB NO.:	20-0326

