

AGENDA
PLANNING COMMISSION
REGULAR MEETING
3:30 p.m. Tuesday, October 20, 2020
City Council Chambers, 2nd Floor of City Hall
823 Rosenberg, Galveston, Texas

In order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID-19), the meeting will be held by videoconference and there will be no public access to the location described above.

Public Comment can be submitted on-line: <https://forms.galvestontx.gov/Forms/PublicComment> or by calling 409-797-3665.

1. Call Meeting To Order
2. Attendance
3. Conflict Of Interest
4. Approval Of Minutes: October 6, 2020

Documents:

[2020-10-06 PC MINUTES.PDF](#)

5. Meeting Format (Staff)
6. Public Comment

Members of the public may submit a public comment using the web link below. All comments submitted prior to the meeting will be provided to the Planning Commission.

<HTTPS://FORMS.GALVESTONTX.GOV/FORMS/PUBLICCOMMENT>

- a. Agenda Items
- b. Non-Agenda Items

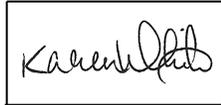
7. New Business And Associated Public Hearings
 - A. 20P-034 (11128 San Luis Pass Road / FM 3005) Request To Amend Ordinance 19-067 Regarding A Planned Unit Development (PUD) Overlay District. Property Is Legally Described Part Of Lot 460 (460-8), Trimble And Lindsey, Section 1, In The City And County Of Galveston, Texas. Applicant: Sharif Maredia Property Owner: SS&A Investments, LLC

Documents:

[20P-034 - STF PKT.PDF](#)

8. Discussion And Action Items
9. Adjournment

I certify that the above Notice of Meeting was posted in a place convenient to the public in compliance with Chapter 551 of the Texas Government Code on October 15, 2020 at 10:00 A.M.

A rectangular box containing a handwritten signature in black ink that reads "Karen White".

Prepared by: Karen White, Planning Technician

IN ACCORDANCE WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), PERSONS IN NEED OF A SPECIAL ACCOMMODATION TO PARTICIPATE IN THIS PROCEEDING SHALL, WITHIN THREE (3) DAYS PRIOR TO ANY PROCEEDING, CONTACT THE CITY SECRETARY'S OFFICE, SUITE 201, 823 ROSENBERG, GALVESTON, TX 77550 (409-797-3510)

MEMBERS OF CITY COUNCIL MAY BE ATTENDING AND PARTICIPATING IN THIS MEETING



City of Galveston

MINUTES OF THE PLANNING COMMISSION OF THE CITY OF GALVESTON
REGULAR MEETING – October 6, 2020

CALL MEETING TO ORDER

The meeting was called to order at 3:30 p.m.

ATTENDANCE

Members Present via Videoconference: Jeff Antonelli, Cate Black, Bob Brown, Eugene Cook, Jeffrey Hill, Carol Hollaway, CM John Paul Listowski

Members Absent: None

Staff Present: Catherine Gorman, AICP, Assistant Director/HPO

Staff Present via Telephone: Tim Tietjens, Executive Director of Development Services; Dustin Henry, Coastal Resource Manager; Daniel Lunsford, Planner; Karen White, Planning Technician; Donna Fairweather, Assistant City Attorney

ELECTION OF CHAIR AND VICE-CHAIR

Chairperson Cate Black opened the floor for nominations for Chair. Carol Hollaway nominated Vice-Chairperson Jeffrey Hill. Carol Hollaway made a motion to close the floor to nominations and accept the nominations as submitted. Eugene Cook seconded, and the following votes were cast:

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway

Chairperson Cate Black called for a vote to appoint Vice-Chairperson Jeffrey Hill to Chair.

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway

Vice-Chairperson Jeffrey Hill was appointed to Chair.

Chairperson Jeffrey Hill opened the floor for nominations for Vice-Chair. Jeff Antonelli nominated Eugene Cook. Cate Black nominated Bob Brown. Carol Hollaway made a motion to close the floor to nominations and accept the nominations as submitted. Cate Black seconded, and the following votes were cast:

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway

Chairperson Jeffrey Hill called for a vote to appoint Eugene Cook to Vice-Chair.

In favor: Antonelli, Cook, Hollaway
Opposed: Black, Brown, Hill

The motion failed due to a lack of four affirmative votes.

Chairperson Jeffrey Hill called for a vote to appoint Bob Brown to Vice-Chair.

In favor: Black, Brown, Hill, Hollaway
Opposed: Antonelli, Cook

Bob Brown was appointed to Vice-Chair.

CONFLICT OF INTEREST

Cate Black – 20P-031

APPROVAL OF MINUTES

The September 22, 2020 minutes were approved as presented.

MEETING FORMAT

Staff explained the adjusted meeting format to the Commission and the public.

PUBLIC COMMENT

None

NEW BUSINESS AND ASSOCIATED PUBLIC HEARINGS

BEACHFRONT

20P-017a (24131 San Luis Road/FM 3005) Request for a Beachfront Construction Certificate/Dune Protection Permit in order to construct a single-family dwelling and driveway. The property is legally described as Sur Tract 19, a Subdivision in the City and County of Galveston, Texas.

Applicant: Kai Adkins – Edgewood Ventures

Property Owner: Edgewood Ventures, LLC

Staff presented the staff report.

Chairperson Jeffrey Hill opened the public hearing on case 20P-017a. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Jeff Antonelli made a motion to approve case 20P-017a with staff’s recommendations. Carol Hollaway seconded.

Cate Black proposed a friendly amendment to add the following specific condition:

Specific Condition 11) The applicant shall include a dimensioned site plan and survey in his building permit application to ensure that construction activities occur outside of the critical dune area.

Jeff Antonelli and Carol Hollaway accepted the friendly amendment, and the following votes were cast:

In favor:	Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed:	None
Abstain:	None
Non-voting participant:	CM Listowski (Ex-Officio)

The motion passed.

20P-031 (26003 Flamingo Dr.) Request for a Beachfront Construction Certificate/Dune Protection Permit in order to construct a single-family dwelling and driveway. The legal description of the property is Lot 8, Block 1, Pointe West, Section 1, a Subdivision in the City and County of Galveston, Texas.

Applicant: Cate Black, Architect

Owners: Stephanie and Scott Hildebrandt

Cate Black recused herself citing a conflict of interest.

Staff presented the staff report.

Chairperson Jeffrey Hill opened the public hearing on case 20P-031. Applicant Cate Black presented to the Commission. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Carol Hollaway made a motion to approve case 20P-031 with staff's recommendations. Chairperson Jeffrey Hill seconded, and the following votes were cast:

In favor: Antonelli, Brown, Cook, Hill, Hollaway
Opposed: None
Abstain: Black
Non-voting participant: CM Listowski (Ex-Officio)

The motion passed.

LANDMARK DESIGNATION

20P-030 (1615 Avenue K) Request for designation as a Galveston Landmark. Property is legally described as M.B. Menard Survey, Lot 4, Block 76, in the City and County of Galveston, Texas.

Applicants and Property Owners: Rowan Dougherty and Wallace W. Wood, Jr.

Cate Black returned at 4:20 p.m.

Staff presented the staff report and noted that of twenty-three (23) notices of public hearing sent, two (2) had been returned in favor.

Chairperson Jeffrey Hill opened the public hearing on case 20P-030. Applicant and property owner Rowan Dougherty presented to the Commission. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Cate Black made a motion to recommend approval of case 20P-030 with staff's recommendations. Vice-Chairperson Bob Brown seconded, and the following votes were cast:

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed: None
Abstain: None
Non-voting participant: CM Listowski (Ex-Officio)

The motion passed.

PLAT

20P-033 (Vacant Tracts Located East of Sea Breeze, South of San Luis Pas Road/FM 3005, and west of 8 Mile Road) Request for a Preliminary Plat to incorporate 4.59 acres of the subject tract as part of Beachside Village, Section 6; extend Starfish Drive and develop the Beachside Village Residential Reserve. Properties are legally described as The Preserve at West Beach, Section 1 (2010), Abstract 121, East 44.38 (5972-0-0-0), and Beachside Village, Section 5 (2019), Abstract 121 Residential Reserve, in the City and County of Galveston, Texas.

Applicant: Kahala Development, LP c/o Debbie Reinhart

Property Owners: Kahala Development, LP and Marquette Galveston INV.

Staff presented the staff report and noted that of sixty-eight (68) notices of public hearing sent, twelve (12) had been returned in favor.

Chairperson Jeffrey Hill opened the public hearing on case 20P-033. Applicants and property owners Bruce, Debbie, and Austin Reinhart of Kahala Development, LP, presented to the Commission. The public hearing was closed and the Chairperson called for questions or comments from the Commission.

Chairperson Jeffrey Hill made a motion to disapprove case 20P-033 without prejudice per staff's recommendation. Eugene Cook seconded.

Chairperson Jeffrey Hill withdrew her motion.

Chairperson Jeffrey Hill made a motion to disapprove case 20P-033 without prejudice per staff's recommendation as amended and reviewed by the Commission on October 6, 2020 (Attachment A). Vice-Chairperson Bob Brown seconded, and the following votes were cast:

In favor: Antonelli, Black, Brown, Cook, Hill, Hollaway
Opposed: None
Abstain: None

Non-voting participant: CM Listowski (Ex-Officio)

The motion passed.

DISCUSSION AND ACTION ITEMS

THE MEETING ADJOURNED AT 5:12 PM





20P-034

STAFF REPORT

ADDRESS:

11128 San Luis Pass Road / FM 3005

LEGAL DESCRIPTION:

Property is legally described Part of Lot 460 (460-8), Trimble and Lindsey, Section 1, in the City and County of Galveston, Texas.

APPLICANT/REPRESENTATIVE:

Sharif Maredia

PROPERTY OWNER:

SS&A Investments, LLC

ZONING:

Commercial, Height and Density Development Zone, Zone-6, with a Planned Unit Development Overlay (C-HDDZ-6-PUD)

REQUEST:

Request to amend Ordinance 19-067 regarding a Planned Unit Development (PUD) Overlay District.

APPLICABLE LAND USE REGULATIONS:

Article 4, Land Development Regulations (LDR)

STAFF RECOMMENDATION:

Approval with conditions

EXHIBITS:

- A – Aerial Map
- B – PUD Plan
- C – Narrative/Revised Development Schedule

STAFF:

Adriel Montalvan, Planning Manager
 409-797-3645
 amontalvan@galvestontx.gov

Public Notice and Comment:

Sent	Returned	In Favor	Opposed	No Comment
9				



Executive Summary:

The applicant is requesting to amend a previously approved Planned Unit Development (PUD), Ordinance 19-067, to construct an “Auto Service/Fueling or Charging Station” next to an existing convenience store.

A condition of approval for that PUD is that the construction of the project needed to commence within six months and completed within fifteen months from the date of City Council approval. City Council reviewed and approved the project on November 14, 2019.

Construction did not commence according to the condition stipulated in the PUD. Therefore, the applicant is requesting that the PUD be amended to reflect a revised development schedule, per Exhibit C.

The applicant is currently in the permitting phase of the project, and is requesting a twelve (12) month extension to complete the entire project.

Analysis:

The original application materials for the Planned Unit Development (PUD) established an “Auto Service/Fueling or Charging Station” for the installation of three gasoline pumps with a canopy on the south side of the property. In addition, the project was granted relief from compliance with the following “Auto Service/Fueling or Charging Station” Limited Use Standard:

Minimum Distance from Residential: *The use shall be located a minimum of 200 feet from any residential use or residential zoning district boundary, measured as a radius from the property lines of the limited use.*

The subject property is directly adjacent to residential land uses to the north and west.

Criteria for Approval:

Per Section 13.601.C of the Land Development Regulations, the Planning Commission may recommend approval and City Council may grant the approval of a rezoning request if it is demonstrated that:

1. The proposed zoning is preferable to the existing zoning in terms of its likelihood of advancing the goals, objectives, and policies of the City of Galveston 2011 Comprehensive Plan and other adopted neighborhood plans, special area plans, redevelopment plans, or other plans applicable to the area;
2. The proposed zoning is consistent with the future land use map of the City of Galveston 2011 Comprehensive Plan (a future land use map amendment may be processed concurrently with the rezoning);
3. The proposed change is consistent with the implementation of existing or pending plans for providing streets, water and wastewater, other utilities, and the delivery of public services to the area in which the parcel proposed for rezoning is located;
4. The range of uses and the character of development that is allowed by the proposed zone will be compatible with the properties in the immediate vicinity of the parcel proposed for rezoning, and the parcel proposed for rezoning has sufficient dimensions to accommodate reasonable development that complies with the requirements of these Regulations including parking and buffering requirements; and
5. The pace of development and/or the amount of vacant land currently zoned for comparable development in the vicinity suggests a need for the proposed rezoning in order to ensure an appropriate inventory of land to maintain a competitive land market that promotes economic development.

Recommendation:

Due to the fact that the only change in the development plan for the proposed “Auto Service/Fueling or Charging Station” is the development schedule, staff recommends approval of case 20P-034, with the following conditions:

Specific Conditions to Case 20P-034:

1. Construction must conform to the site plan and design details included with the PUD application and ordinance, and adhere to any modifications as approved by City Council;
2. Granting of a PUD zoning district shall not relieve the developer from complying with all other applicable sections of the Land Development Regulations (LDR), and other Codes and Ordinances of the City of Galveston, unless such relief is specified in the approved PUD plan and PUD ordinance. Relief provided by this PUD plan includes:
 - To deviate from the limited use standard that requires a minimum distance of 200-feet from any residential use or zoning district
3. An 8-foot tall new wood fence shall be installed on the north and west sides of the property. An 8-foot tall new wood fence shall be installed along the eastern property line from the north property line south to the dumpster enclosure as shown on the attached site plan. The fence shall be screened with landscaping that complies with Article 9: Landscaping of the Land Development Regulations. The wall and landscaping shall be installed prior to the issuance of a Certificate of Occupancy;
4. An approved TXDOT permit shall be required for modifications to the existing curb cuts;
5. Sidewalks shall be omitted from the plans;

6. The photometric plan shall be revised to meet the Land Development Regulations, Article 7: Lighting and the following:
 - a. All fixtures shall be full cut off;
 - b. All fixtures shall be oriented to the south (inward);
 - c. All LED fixtures shall be no greater than 3000 Kelvin (K); and
 - d. No light trespass shall be permitted at the property line
7. All comments from the Texas General Land Office under 19BF-054 shall be met;
8. Grading outside the footprint of the structure is prohibited on the east side, according to The Texas General Land Office. The east side shall be limited to repairing the existing paving and pouring 4-inches of concrete in this area;
9. The plan shall include stacking parking spaces three per pump;
10. All underground storage tanks for flammable and combustible liquids shall comply with Chapter 57 of the International Fire Code (IFC);
11. All motor-fuel dispensing facilities shall comply with Chapter 23. The applicant must provide documentation (for approval) that this property complies with the IFC, as adopted and amended by the City of Galveston;
12. The applicant shall obtain necessary permits and comply with all City Codes;
13. All fuel dispensers/charging stations shall meet FEMA regulations;
14. The construction of the project shall be completed no later than 12 months (November of 2021) from the date of approval. If the project is not completed within 12 months, the City Council shall have discretion to extend the time period if sufficient cause is determined;

Standard Conditions of a Planned Unit Development (PUD):

15. The applicant shall adhere to all comments/conditions received from City departments;
16. Any change or revisions to the adopted PUD Plan shall require an amendment to the PUD ordinance, which requires review by the Planning Commission and City Council. Minor additions and modifications to the approved PUD plan meeting the criteria set forth in Article 4, Section 4.102 (d)(3) of the Land Development Regulations (LDR) may be approved by the Development Services Department;
17. The proposed project must comply with all signage requirements per Article 5 of the Land Development Regulations;
18. The development shall adhere to all landscaping requirements per Article 9 of the Land Development Regulations; and,
19. The applicant shall submit for approval all plans to the Development Services Department for compliance with all City codes.

City Council has the final decision regarding this PUD request. Council will hear this request on November 12, 2020.

Respectfully Submitted,



Adriel Montalvan
Planning Manager

10/13/2020
Date



Catherine Gorman, AICP
Assistant Planning Director / HPO

10/13/2020
Date



This product is for informational purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The data presented on these pages is not legally binding on the City of Galveston or any of its departments. These maps and the associated data are representations ONLY and may contain errors in the databases. Therefore, the information presented on this map is for informational purposes only and should not be construed to be legally binding.

Legend

 Parcels



SS&A INVESTMENTS LLC
4916 TERRASSA LN,
LEAGUE CITY, TX, 77573

September 10, 2020

City of Galveston
Building Department
823 Rosenberg St.
Galveston, Texas 77550

Re: 11128 San Luis Pass, Galveston, Texas 77554

PLANNING COMMISSION NARRATIVE

The following is in reference to the property located at 11128 FM 3005 in Galveston, Texas.

1. We will install a 5' tall wooden fence on the west side of the property continuous from front to back tying into the existing fence.
2. We will install landscaping adjacent to the fence from FM 3005 to the front corner of the west side of the building.
3. We will install landscaping along FM 3005 as per code.
4. The existing building is approx. 20' from the property line on the west side.
5. We are requesting a PUD to reinstall fuel tanks that were removed after Hurricane Ike that had been at this location for 20 years.
6. The existing building, which is 4,262 sq. ft., will not change in size or height. It is masonry construction and is 71' deep.
7. The house on the west property is built further behind our masonry building. This means the building and parking lot serve as a buffer.
8. There are approx. 3 houses within 1/4 of a mile of our property. To the east of the property, it is vacant commercial land.
9. The existing building height is 30' tall in the front and 14' in the rear. The building is zoned commercial.
10. The west side setback is 20' and the east side is 30'. The rear setback is 70' and the front setback is 90'.
11. Our construction will be limited to the front side of the building.
12. There will be 12 parking slots which will be constructed of concrete and asphalt. This is the same location as the past 20 years.
13. We will install new fuel tanks to replace the tanks that were removed.
14. The fuel tanks will be double walled and strapped underground.
15. The fuel tanks will meet all USTA (Underground Storage Tank Association) standards for safety and environmental protections.
16. The existing building's flood elevation will remain the same as it is "grandfathered."
17. The two existing driveways from FM 3005 will be used. There are no required sidewalks on FM 3005 that are west of 103rd Street.

18. We will build a metal canopy over the fuel pumps engineered to meet all City and windstorm codes and standards.
19. The canopy will be 76' long, 24' deep and 18.5' off the existing grade.
20. The canopy will have LED ceiling lights that will comply with City lighting's standards.
21. The canopy and existing building will have a sign that complies with all City codes.
22. The canopy will be approx. 30' off the west property line, approx..50' off the east property line, and approx. 10' from the front property line.
23. There will be three sets of double fuel pumps (6 dispensers total).
24. The installation of all the above would be simultaneously done. The order of installation is the fuel tank pumps, then paving, fencing, landscaping and lighting.
25. The parking lot and fuel area's slope will match existing slope draining away from adjacent properties as it has over the years. It will drain into the ditch on FM 3005.
26. The rear of the property will remain as it is presently.

11128 FM 3005,
GALVESTON, TX, 77554

ADDRESS:

STAMP

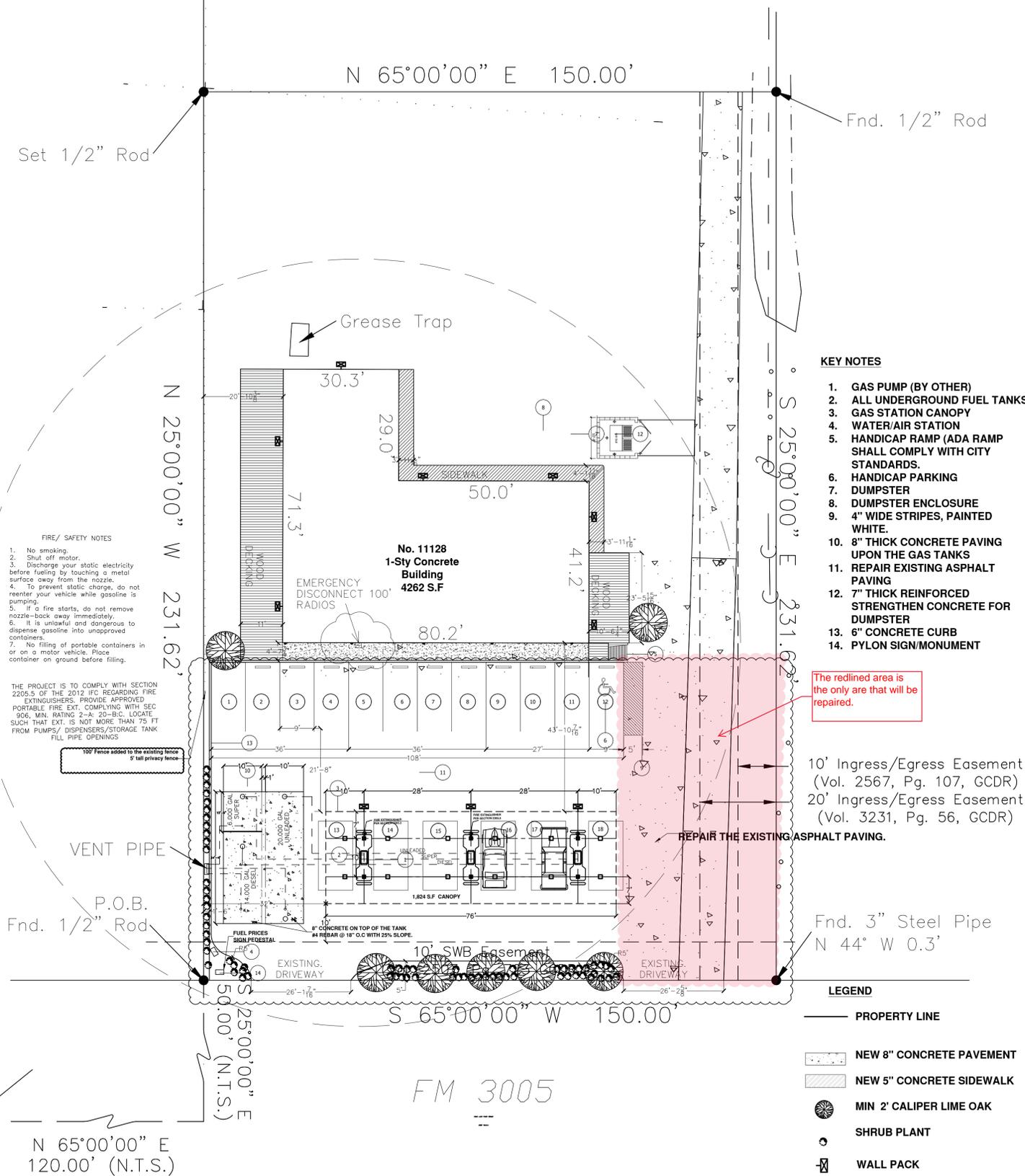


FUEL SYSTEM SITE
PLAN

Project number 2019002
Date 7/19/2019
Drawn by
Checked by

C100

Scale 1/8" = 1'



- KEY NOTES**
1. GAS PUMP (BY OTHER)
 2. ALL UNDERGROUND FUEL TANKS
 3. GAS STATION CANOPY
 4. WATER/AIR STATION
 5. HANDICAP RAMP (ADA RAMP SHALL COMPLY WITH CITY STANDARDS.
 6. HANDICAP PARKING
 7. DUMPSTER
 8. DUMPSTER ENCLOSURE
 9. 4" WIDE STRIPES, PAINTED WHITE.
 10. 8" THICK CONCRETE PAVING UPON THE GAS TANKS
 11. REPAIR EXISTING ASPHALT PAVING
 12. 7" THICK REINFORCED STRENGTHEN CONCRETE FOR DUMPSTER
 13. 6" CONCRETE CURB
 14. PYLON SIGN/MONUMENT

- FIRE/ SAFETY NOTES**
1. No smoking.
 2. Shut off motor.
 3. Discharge your static electricity before fueling by touching a metal surface away from the nozzle.
 4. To prevent static charge, do not reenter your vehicle while gasoline is pumping.
 5. If a fire starts, do not remove nozzle-back away immediately.
 6. It is unlawful and dangerous to dispense gasoline into unapproved containers.
 7. No filling of portable containers in or on a motor vehicle. Place container on ground before filling.

THE PROJECT IS TO COMPLY WITH SECTION 2205.5 OF THE 2012 IFC REGARDING FIRE EXTINGUISHERS. PROVIDE APPROVED PORTABLE FIRE EXT. COMPLYING WITH SEC 906, MIN. RATING 2-A; 20-BC. LOCATE SUCH THAT EXT. IS NOT MORE THAN 75 FT FROM PUMPS/ DISPENSERS/STORAGE TANK FILL PIPE OPENINGS

100' Fence added to the existing fence 9' tall privacy fence

The redlined area is the only area that will be repaired.

10' Ingress/Egress Easement (Vol. 2567, Pg. 107, GCDR)
20' Ingress/Egress Easement (Vol. 3231, Pg. 56, GCDR)

REPAIR THE EXISTING ASPHALT PAVING.

Fnd. 3" Steel Pipe
N 44° W 0.3'

- LEGEND**
- PROPERTY LINE
 - NEW 8" CONCRETE PAVEMENT
 - NEW 5" CONCRETE SIDEWALK
 - MIN 2' CALIPER LIME OAK
 - SHRUB PLANT
 - WALL PACK
 - CANOPY LIGHT
 - SCONE LIGHT

N 65°00'00" E
120.00' (N.T.S.)

FM 3005

1128 FM 3005,
GALVESTON, TX, 77554

ADDRESS:

STAMP

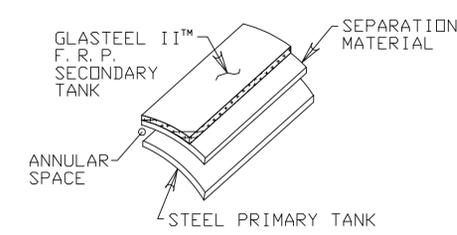
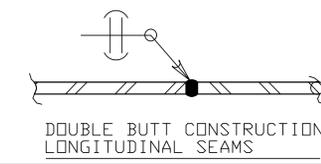
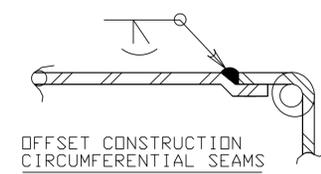


20,000 GALLON SPLIT
TANK
14,000 & 6,000
GALLONS

Project number 2019002
Date 7/19/2019
Drawn by
Checked by

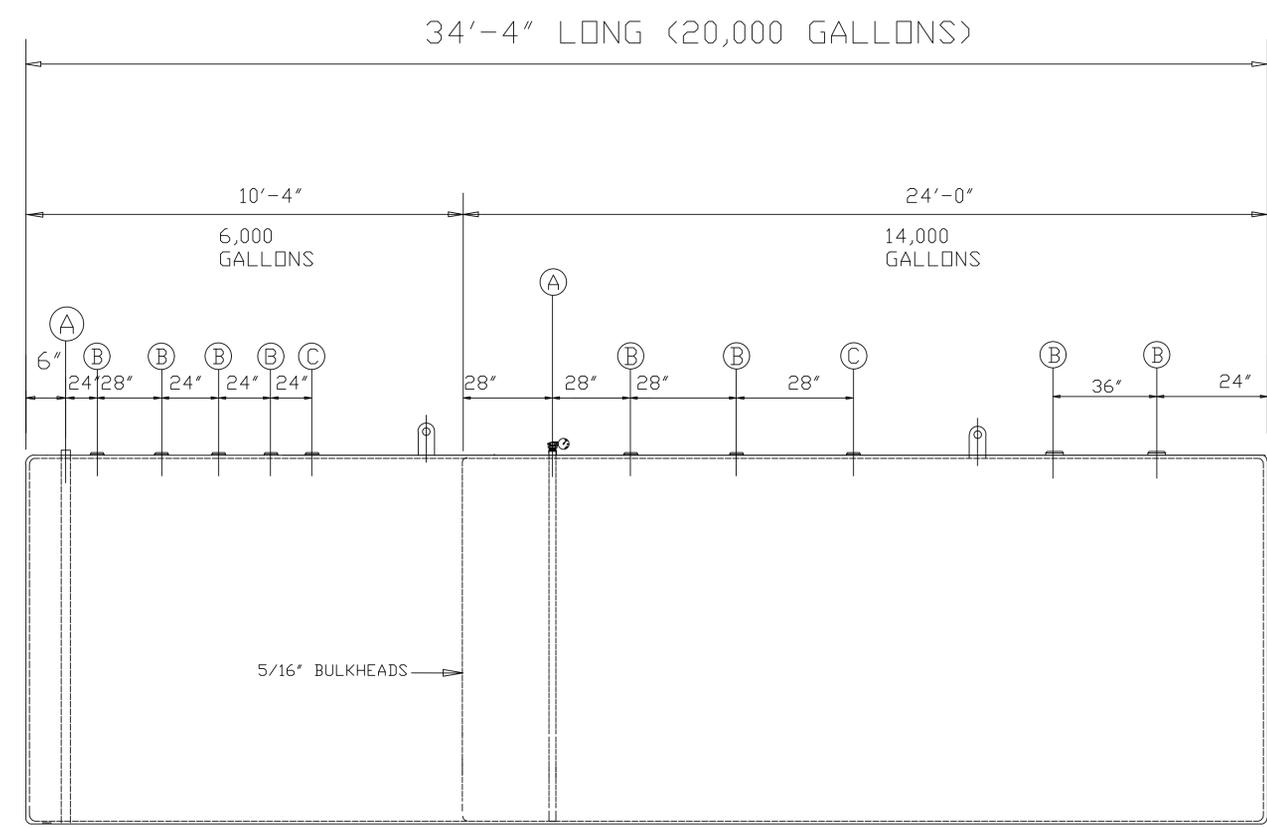
F-2

Scale 1/32" = 1'



GLASTEEL II™
CONSTRUCTION DETAILS

INTERIOR: CLEAN OF DEBRIS, UNPAINTED
EXTERIOR: F. R. P.



NOTE:
OPENING ARE 5" x 4" NYLON BUSHING

- TANK SHALL BEAR THE U.L. 1746 LISTING MARK FOR SECONDARY CONTAINMENT UNDERGROUND TANK FOR FLAMMABLE LIQUID STORAGE.
- TANK SHALL MEET THE REQUIREMENTS OF NFPA 30 & 31.
- TANK SHALL MEET THE REQUIREMENTS OF UFC.
- TANK SHALL MEET THE REQUIREMENTS OF SCAQMD METHANOL COMPATIBILITY RULE 1170.
- TANK SHALL HAVE 30 YEAR LIMITED WARRANTY.

THIS TANK ARRIVES AT THE JOBSITE UNDER VACUUM AND DOES NOT REQUIRE FURTHER INTEGRITY TESTS. IF JOBSITE AIR PRESSURE TEST REQUIRED, THE PRIMARY, (INNER) TANK MAY BE PRESSURIZED UP TO 5 P. S. I. THE SECONDARY (OUTER) TANK MAY BE TESTED BY VACUUM ONLY. THE OUTER TANK RECEIVES A 35,000 VOLTS. HOLIDAY TEST AT THE FACTORY.

MARK	REQ	SIZE	TYPE	RATING	REMARKS
C	2	4"	FNPT		FILL
B	8	4"	FNPT		
A	2	2"	FNPT		MONITOR

SCHEDULE OF OPENINGS

modern MODERN WELDING OF HOUSTON, INC.

ADDRESS:

STAMP

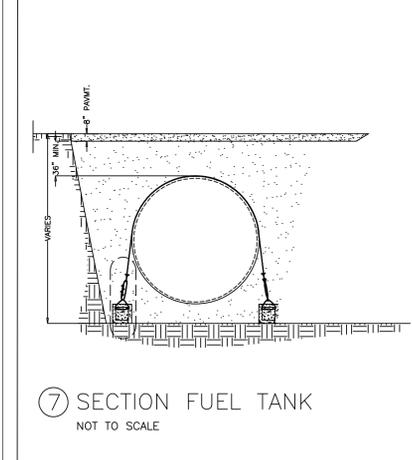
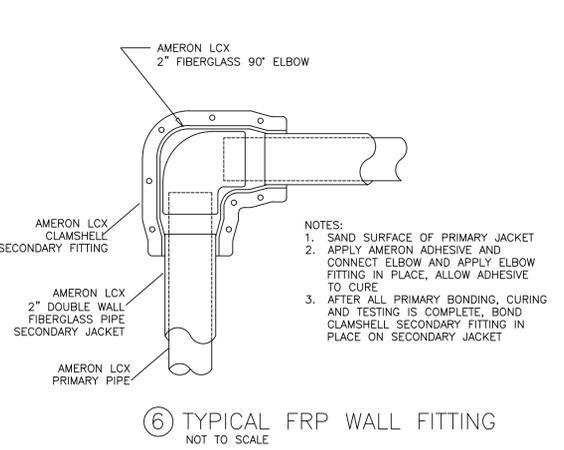
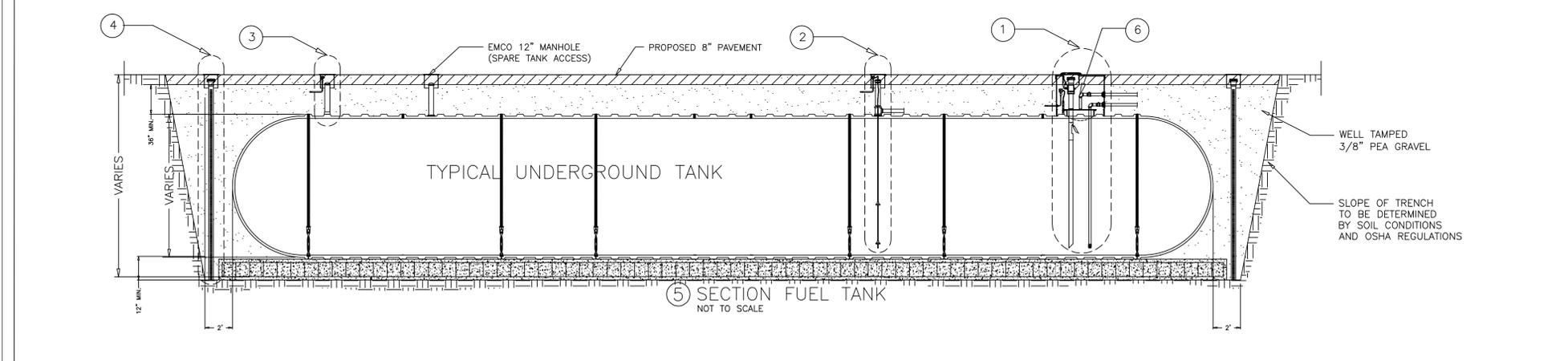
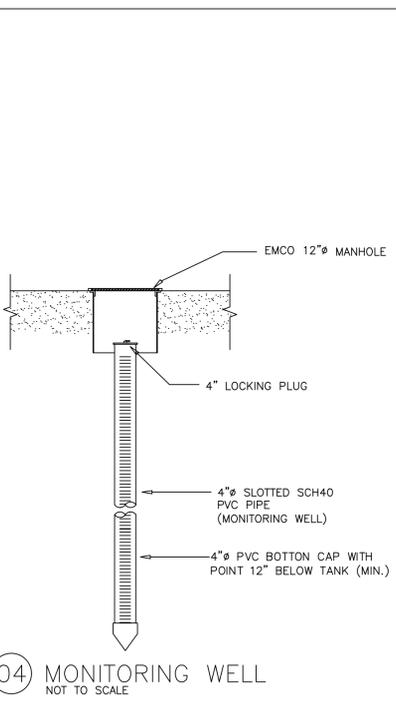
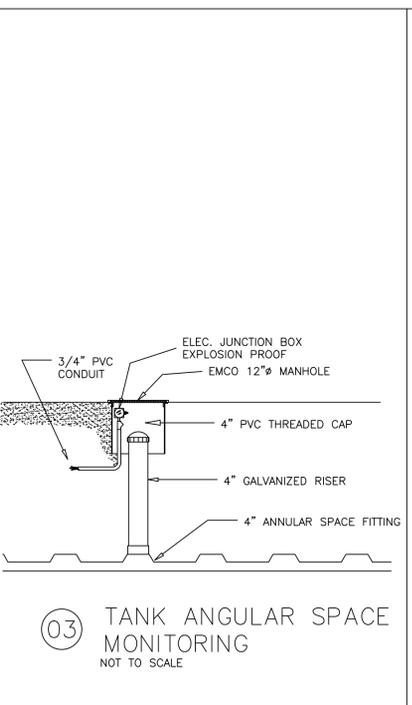
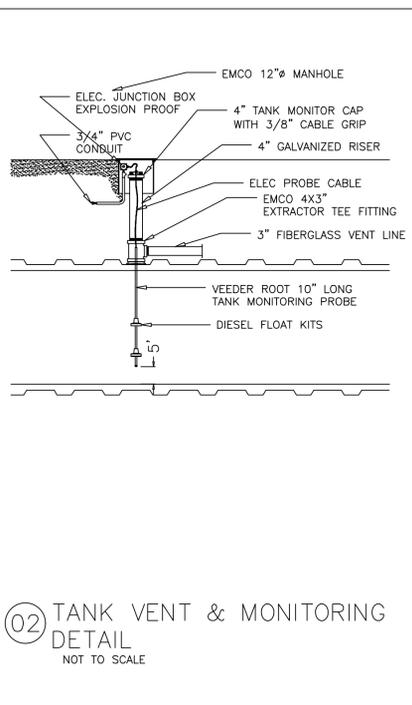
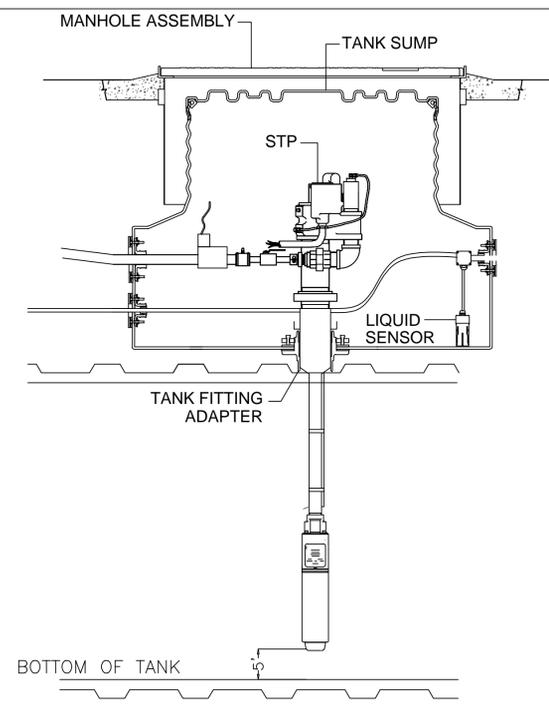
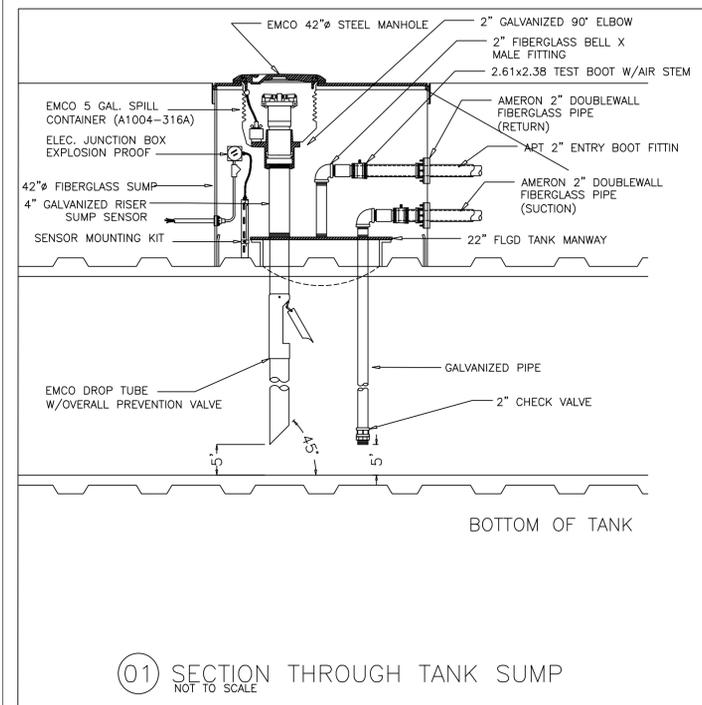
DOMINIC A. GRENDA
71023
LICENSED PROFESSIONAL ENGINEER
5.10.19

TYPICAL FUEL TANK
DETAILS

Project number 2019002
Date 7/19/2019
Drawn by
Checked by

F-3

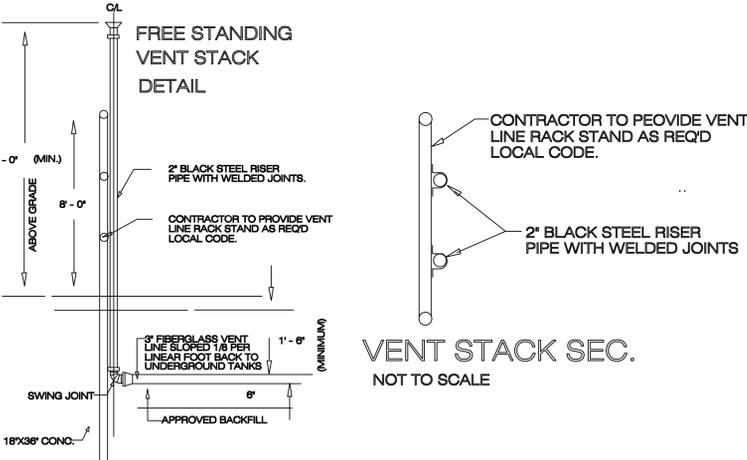
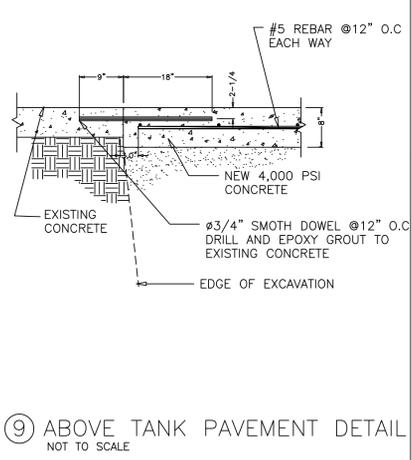
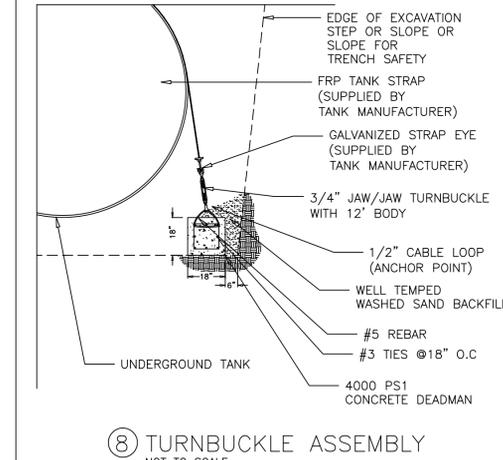
Scale 1/32" = 1'



FLOOD PLAIN NOTE:
NO NET FILL IS ALLOWED IN THE FLOOD PLAIN AND NO FILL IS ALLOWED IN THE FLOODWAY NO CHANGE TO EXISTING ELEV. ABOVE UNDERGROUND TANK

UST ELECTRICAL NOTES:

1. ALL WORK TO BE IN ACCORDANCE TO NEC 2014, INCLUDING ART. 501.5(A)CL.1, DIV.1 & (B) CL. 1 DIV. 2, ART. 502.5 CL.2 DIV.1 & 2.
2. ALL INSTALLATIONS IN ACCORDANCE WITH NFPA 70 AND 30A REGARDING PETROLEUM PRODUCTS AND FUELING SYS. A LIC. ELECTRICIAN SHALL BE RESPONSIBLE FOR AND SUPERVISE ALL EL. WORK AT THE SITE.
3. CIRCUITS FOR DISPENSERS SHALL MEET DISCONNECT REQUIREMENTS OF NEC 514.1.





Installation Instructions - Glasteel II Jacketed Steel Tanks

www.modweldco.com



INTRODUCTION

1.0 Proper installation is essential to the expected product life and performance on Modern's Glasteel II Underground Storage Tank. This tank must be installed in accordance with these installation instructions, the latest issue of N.F.P.A. 30 and 31 pamphlet, the PEI/RP-100 and local authorities having jurisdiction over underground tank installations and codes. Although the instructions are clear and precise, unexpected conditions often occur and thus prudent thought, coupled with extreme care become the proper procedure.

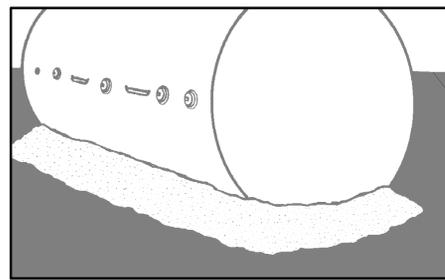
TANK HANDLING

- 2.0 Extreme caution shall be used when handling the tank. Do not drop or roll the tank.
- 2.1 Equipment to lift and lower the tank shall be of sufficient capacity to do so without dragging or dropping the tank.
- 2.2 The tank shall be lifted and lowered using the lifting lugs or lifting plugs provided. Cables or chains used shall be of adequate length. No circumstances warrant the use of chains or slings around the tank shell. Maximum angle of the sling shall be 60 degrees.

TANK STORAGE

3.0 If tank is stored on site prior to installation, a secure area shall be chosen. Special attention shall be placed in selecting the storage location to assure the absence of rocks and foreign objects that might cause damage to the tank exterior.

INSPECTION



4.0 Visually inspect the tank exterior for damage. Any extreme gouging or abrasion should be carefully reviewed and appropriate action taken.

- 4.1 Remove thread protectors and shipping plugs from all openings (except vacuum gage fitting assembly). Using compatible, non-hardening pipe sealant, install permanent metal plugs in all unused openings.
- 4.2 Refer to Modern Welding Company's publication, "Finishing Instructions" for proper installation of permanent coverings for unused openings and lifting lugs.
- 4.3 For Glasteel II tanks fabricated without dielectric isolation, (threaded nylon bushings or flange isolation kits) this tank must use either:
 - A) Non-metallic piping, or
 - B) Conductive piping must be isolated from the backfill material and any other metal or grounding device.

TESTING

- 5.0 Glasteel II tanks are shipped with a vacuum gauge assembly which shows the amount of vacuum within the tank's annular space. Tightness testing shall be as follows:
 1. Tank's initial vacuum must be a minimum of 12" Hg. (Use the higher vacuum reading on tank at time of delivery. Do not reduce vacuum.)
 2. A test period of one hour shall be used.
 3. If the initial vacuum reading remains the same or drops less than 1" Hg during the test period, the tank is considered tight.
- However, if the vacuum reading drops 1" Hg or more, then additional testing shall be required:
1. The tank's initial vacuum shall be reestablished. This process may take several attempts until the vacuum stabilizes.
 2. Restart the one hour test time.
 3. At the end of the one-hour test duration, a vacuum loss of less than 1" Hg reading must be maintained.

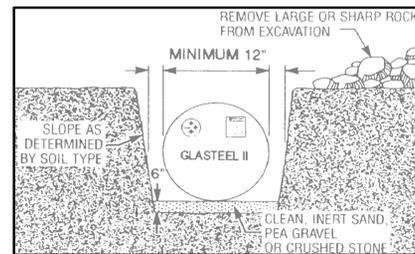
NFPA-30,2008, Section 21.5.1 states, "All tanks shall be tested before they are placed in service."
NFPA-30,2008, Section 21.5.2.6.1 states, The interstitial space (annular) of such (secondary containment) tanks shall be tested in accordance with the manufacturer's instructions.

CAUTION: Do Not Pressure Test Interstitial (Annular) Space. Note that fluctuations in interstice vacuum are caused by temperature and barometric pressure changes.
5.1 Installers / owners shall note and document the tank's interstitial (interstice) vacuum at the time of delivery to satisfy tank tightness requirements. Installers/Owners may leave the vacuum and vacuum gauge assembly on the tank to monitor for possible damage during the installation process. If the interstitial vacuum level changes significantly, investigate and contact the tank manufacturer.

5.2 Vacuum Gauge Assembly Removal: The interstitial precision tightness test gauge assembly is not for long term monitoring of the tank's interstitial (annular) space. This gauge assembly shall be removed when the backfill and associated piping is complete. This will confirm that no damage has occurred to the tank's secondary containment during installation. The annular space monitor opening shall be accessible at grade. This opening must be closed to the atmosphere and protected from external loads and movement.
5.3 Be sure to confirm that monitor pipe connection to tank and at grade are water and vacuum tight. It is recommended that monitor pipe grade access be locked and secured from tampering. This will prevent accidental introduction of water or product into tank's annular space.

EXCAVATION AND BEDDING

6.0 Glasteel II underground storage tanks are designed to withstand a maximum burial depth of 60". If a greater burial depth is required, contact the manufacturer.
6.1 The excavation shall be properly prepared and free from any material or objects that would cause damage to the tank exterior.
6.2 The bottom of the excavation shall be suitably graded and leveled. The foundation for the tank shall be a minimum of 6 inches of clean, inert, compacted sand, pea gravel, or gravel crushings. See chart in "Backfill Section for maximum and minimum sizes of backfill material."
6.3 There shall be a minimum of 12 inches from the outside edge of the tank to the inside edge of the excavation. This distance shall remain true for the entire perimeter surrounding the tank. Multiple tank installations will also require a minimum of 12 inches between tanks measured from each outside edge.

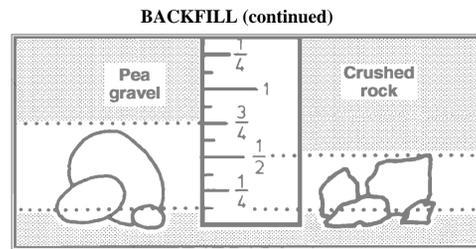


BACKFILL

- 7.0 Only the following approved backfill materials may be used.
 1. Clean washed sand.
 2. Pea Gravel - (particle size must be not less than 1/8 inch or more than 3/4 inch)
 3. Washed stone or gravel crushings (angular particle size required to be not less than 1/8 inch or more than 1/2 inch)

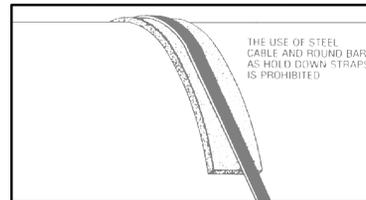
These materials shall be clean, well granulated, free-flowing, non-corrosive and inert. The back fill material shall be free of debris, rocks, concrete, ice, snow or organic materials that could damage the tank or its coating and interfere with proper compaction of backfill materials.

7.1 Flowable fill can be used as an alternative to 7.0 backfill above. Flowable fill shall meet the National Ready Mixed Concrete Association for Controlled Low Strength materials (CLSM) with strength ranging from 70 to 150 psi and shall be installed in accordance with good engineering practice.



ANCHORING

- 8.0 Certain situations require the use of properly designed anchor straps to overcome existing buoyant forces. The straps are used in conjunction with a concrete holddown slab or deadman anchors. All straps must be installed without twists or knots.
- 8.1 A pad of inert, isolation dielectric material must be used to separate the steel anchor strap from the tank. Isolation pads are not required for holddown strap materials of approved fiberglass or polyester webbing.

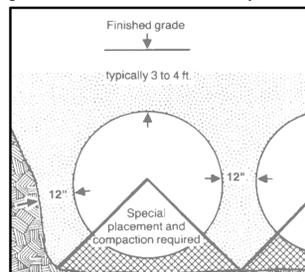


8.2 Do not over tighten hold-down straps beyond snug to tank surface and do not re-tighten straps after ballasting.

8.3 CAUTION: Hold down strap material made of steel cable or round bar is prohibited.

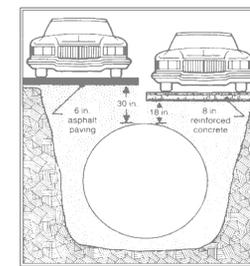
BACKFILLING

9.0 Special care should be taken to ensure that the backfill is properly installed to evenly support the bottom quadrant of the tank. Utilizing equipment other than a portable (hand held) tamping machine in the placement and compacting of backfill or dropping backfill material directly on the tank's surface can cause vacuum loss and holiday formation. Subjecting the tank's surface to these conditions when backfilling may damage the tank and void the warranty.



NOTE: Do not backfill in layers using different backfill materials.

- 9.1 If the tank must be water ballasted during the backfill procedure, use only potable water. Ballast water shall not remain in the tank for longer than 60 days. When ballasting a compartment tank, fill and remove ballast from each compartment uniformly. Once installation is complete and prior to introducing product, the tank must be flushed clean. If product is used as ballast, proper precautions must be taken to prevent fires, spills, leaks and other associated accidents. Monitor product level frequently to ensure there has been no loss of product. Warning: Some regulatory agencies prohibit ballasting with product. Check local regulations before ballasting with product.
- 9.2 The tank shall be encompassed by the proper backfill and extending to a minimum of 12 inches over the top of the tank.
- 9.3 Areas subject to heavy vehicular traffic shall have a protective cover of at least 18 inches clean, compacted backfill with 8 inches of reinforced concrete.
- 9.4 Areas not subject to heavy vehicular traffic shall have a protective cover of a minimum 18 inches of clean compacted backfill covered by 4 inches of reinforced concrete or 6 inches of asphalt paving. If compacted backfill is the only cover, it shall be a minimum of 24 inches deep.
Caution: Be sure sufficient anchorage is in place to withstand any buoyancy forces exerted by tank.



FINISHING INSTRUCTIONS

- 10.0 Finishing Instructions; A fiberglassing kit is shipped with tank and provides materials to cover unused openings and external attachments, such as lifting lugs. All finishing work will be done prior to backfilling.
- 10.1 This tank requires venting. Refer to applicable local codes and PEI RP-100 for proper installation.

TANK WARRANTY ACTIVATION

11.0 FOR GLASTEEL II WARRANTY TO BE INITIATED, THE INSTALLATION CHECKLIST MUST BE PROPERLY FILLED OUT BY THE CUSTOMER, AND RETURNED TO THE MODERN WELDING CO. SUBSIDIARY THAT MANUFACTURED THE TANK. THE INSTALLATION CHECKLIST MUST BE RETURNED WITHIN 30 DAYS AFTER DATE OF INSTALLATION. IF THE GLASTEEL II TANK HAS NOT BEEN INSTALLED WITHIN 90 DAYS OF DELIVERY FROM THE MANUFACTURER, IT IS REQUIRED THAT THE TANK BE RE-EGTVHKGFDJ VJ G'OC PWCEVWGT'CVVJ G'QY PGTUJZGRPUG PRIOR TO INSTALLATION.

MAINTENANCE

- 12.0 Maintenance of Underground Storage Tanks. Both the Environmental Protection Agency (EPA) and the American Petroleum Institute (API) recommend that periodic maintenance be performed on all underground fuel storage tanks. The Petroleum Equipment Institute (PEI) and the Steel Tank Institute (STI) require prompt removal of water bottoms regardless of materials used for tank construction. **The tank owner is solely responsible for the proper operation and maintenance of the storage tank system.** The primary tank should be inspected for the presence of water bottoms and sludge buildup on a regular basis. Lack of such maintenance and inspection control measures by the owner and operator may invalidate the Modern Welding Company Limited Warranty. Maintenance type and scheduling must be performed as outlined and recommended in either STI Storage Tank Maintenance R-111 <http://www.steel-tank.com> or PEI's recommended practice, RP-900, Appendix A-1, Appendix A-2 and Appendix A-3 <http://www.pei.org>.
- 12.1 The publications listed below outline usual and customary storage tank maintenance best practices. Failure to implement and follow these guidelines could negate the manufacturers warranty.
- 12.2 Safety considerations and controls should be established prior to undertaking physical activities associated with underground storage tanks. Some hazards associated with USTs are, but not limited to, confined space entry, cleaning, inspection, moving and any other aspect of in-service work.
- 12.3 Contact tank manufacturer before moving tank for information on recertifying tank for continued use.

Publication Lists

- Listed below are publications containing recommended practices and procedures for the proper maintenance of storage tank systems.
 - API Recommended Practice 1621, Bulk Liquid Stock Control at Retail Outlets, Website: api-ec.api.org
 - STI Document R-111, Storage Tank Maintenance
 - API Recommended Practice 2610, Design, construction, operation, Maintenance and Inspection of Terminal and Tank Facilities. Website: api-ec.api.org
 - EPA's "Operating and Maintaining Underground Storage Tank Systems", a copy of the manual can be downloaded at: Website: www.epa.gov/swerst1/pubs/ommanual.pdf
 - ASTM Standard D6469-69, Standard Guide for Microbial Contamination in Fuels and Fuel Systems. Website: www.astm.org
 - *PEI, RP-900, Recommended Practices for the Inspection and Maintenance of UST Systems. Forms for recording maintenance can be printed off PEI web site at www.pei.org/RP900.

FORM Glasteel II Installation Instructions 1-2015 ©



1128 FM 3005,
GALVESTON, TX, 77554

ADDRESS:

STAMP



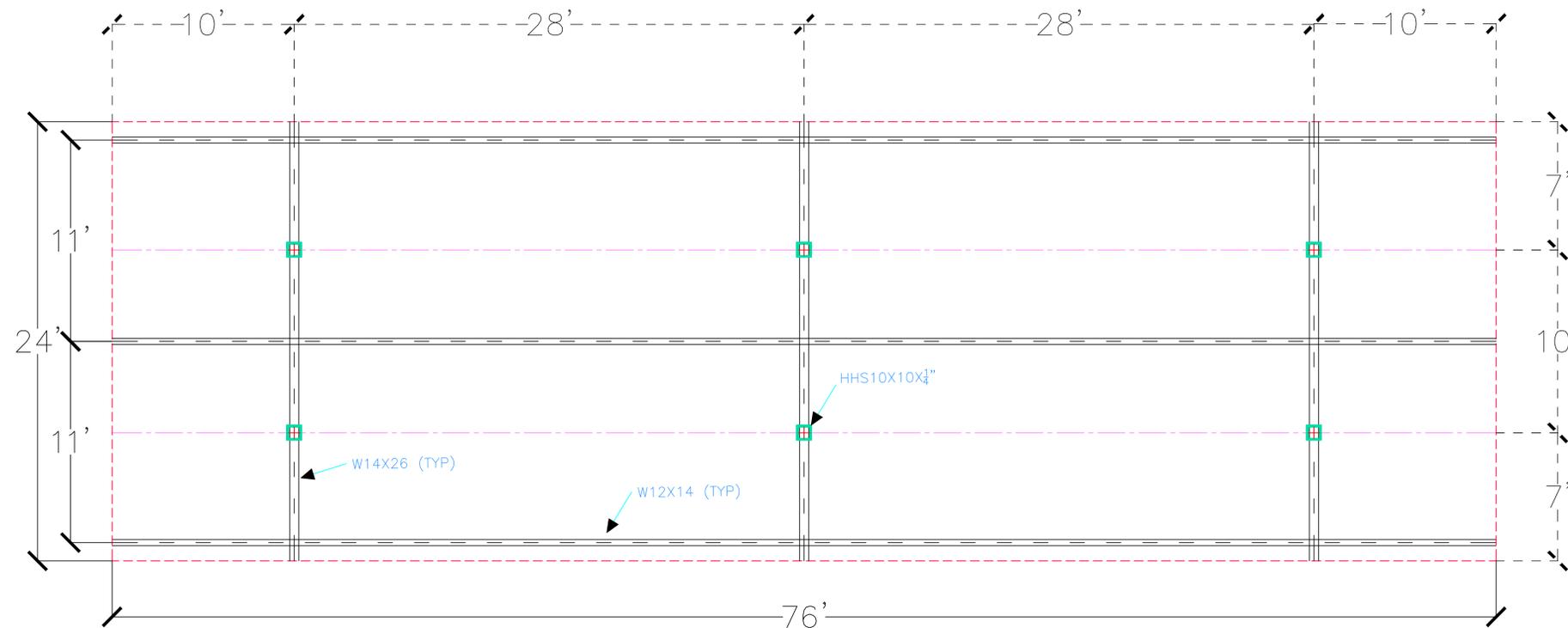
TANK INSTALLATION INSTRUCTIONS

Project number 2019002
Date 7/19/2019
Drawn by
Checked by

F-4

Scale 1/32" = 1'

TYPICAL 3 DISPENSER ISLAND 3 COLUMN CANOPY PLAN VIEW



CANOPY DESIGN NOTES:

STRUCTURAL IS DESIGN IN ACCORDANCE WITH IBC 2012.
 DESIGN LIVE LOAD FOR ROOF = 20 PSF
 WIND LOADS BASED ON 139 MPH, 3 SEC. GUST EXPOSURE B. RISK CATEGORY II

STRUCTURAL DESIGN:

DESIGN BASED ON AISC SPEC.-DESIGN -DESIGNED/FAB./& ERECTION OF STEEL FOR BLDG-NOV. 1978 LATESTED EDITION.

STEEL:

STRUCTURAL MEMBERS SHALL CONFORM TO ASTM SPEC. PER THE FOLLOWING:
 1. A-36 FOR STRUCRUAL STEEL.
 2. ASTM A-325 FOR CONN. BOLTS
 3. ASTM A307 FOR ANCHOR BOLTS
 4. SATM A500, GR. B FOR REC. STEEL TUBES
 NO SPLICING OF STR. STEEL IS ALLOWED WITHOUT APPROVAL OF THE ENGINEER.
 WELDING SHALL MEET OR EXCEED THE STD. CALLED OUT BY AM. WELDING SOC. CODE.
 ALL WELDS AT TOP AND BOT. PLATES ON COLUMN TO BE CONTINUOUS.
 ALL WELDING ELECTRODES SHALL BE EQUAL TO BETTER THAN EE70XX.

STEEL-LIGHT GAGE:

MATERIAL SHALL BE AISI ATANDARD FOR DESIGN OF COLD FORMED STEEL.



11128 FM 3005,
 GALVESTON, TX, 77554

ADDRESS:

STAMP



CANOPY FRAMING
 PLAN 24X76'
 6-COLUMN

Project number 2019002
 Date 7/19/2019
 Drawn by
 Checked by

S-2

Scale 1/4" = 1'

DISPENSER:

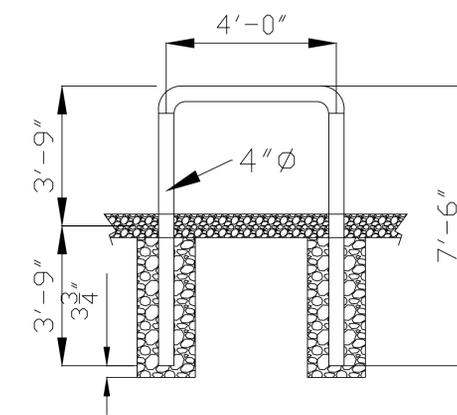
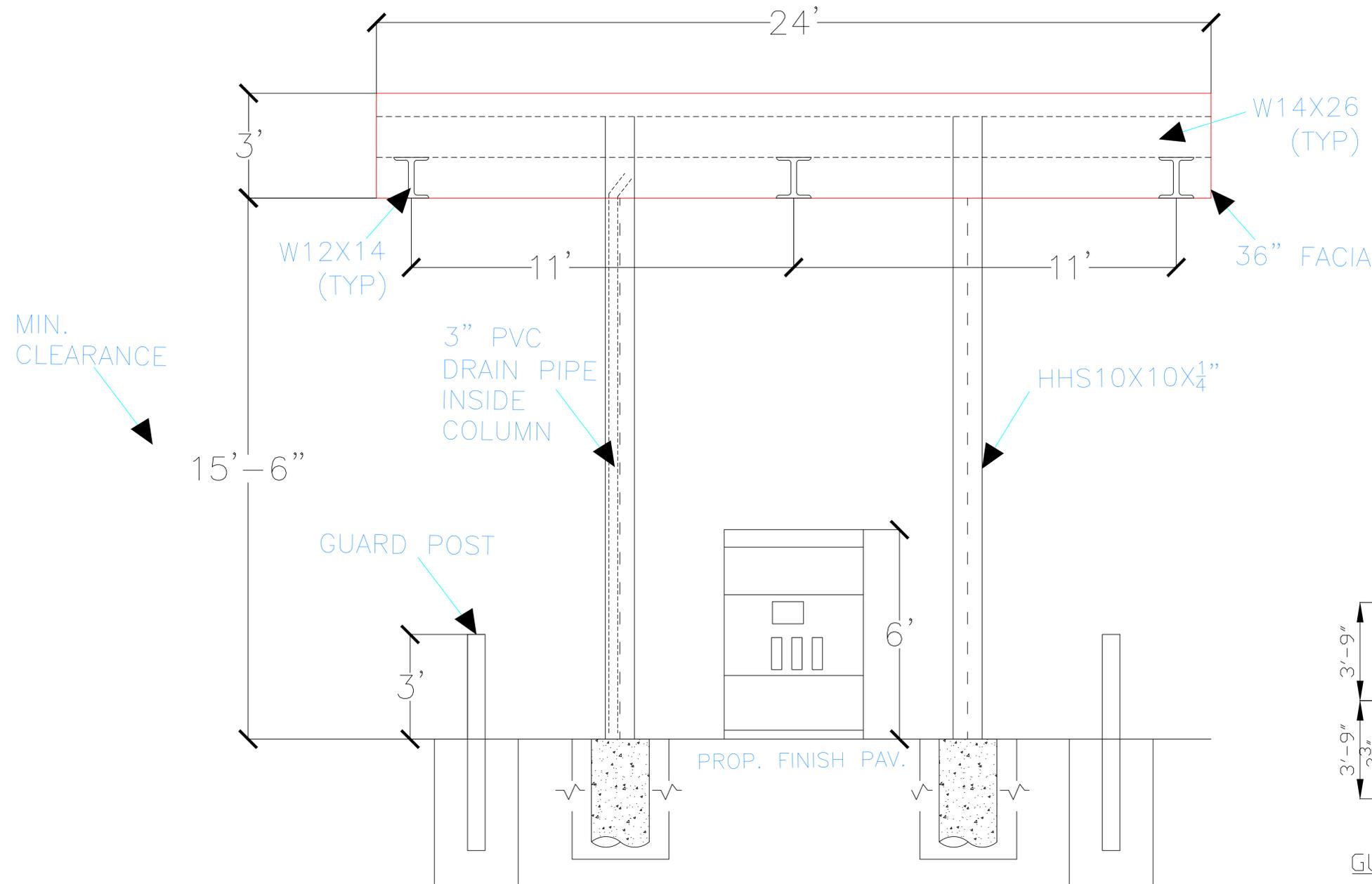
DISPENSERS SHALL BE INSTALLED AND ANCHORED PER MANUFACTURER'S SPECIFICATION.

FOOTING DESIGN:

DESIGN OF FOUNDATION PER SOIL REPORT ALLOWABLE COMPRESSIVE STRENGTH OF 30,000 PSI, WITH NO INCREASE ALLOWED FOR WIND LOADS. THE OWNER IS RESPONSIBLE FOR VERIFYING THAT THE SOIL MEETS THIS MINIMAL STRENGTH REQUIREMENT. ALL CONCRETE TO BE 2500 PSI (MIN.) COMPRESSION IN 28 DAYS. GRADE 60 REINFORCING STEEL TO MEET ASTM A615 SPEC.

FIRE/SAFETY NOTES:

1. THE PROJECT IS TO COMPLY WITH SECTION 2205.5 OF THE 2012IFC REGARDING FIRE EXTINGUISHERS. PROVIDE APPROVED PORTABLE FIRE EXT. COMPLYING WITH SECTION 906
2. PROJECT TO COMPLY WITH SECT. 2205.6 IFC REGARDING WARNING SIGNS. WARNING SHALL BE CONSPICUOUSLY POSTED WITHIN SIGHT OF EACH DISPENSER IN FUELING AREA AND SHALL STATE THE FOLLOWING.
 - 2.1. IT IS ILLEGAL AND DANGEROUS TO FILL UNAPPROVED CONTAINERS WITH FUEL.
 - 2.2. SMOKING IS PROHIBITED.
 - 2.3. THE ENGINE SHALL BE SHUT OFF DURING THE REFUELING PROCESS.
 - 2.4. PORTABLE CONTAINERS SHALL NOT BE FILLED WHEN LOCATED IN THE TRUNK, PASSENGER COMPARTMENT OR TRUCK BED OF A VEHICLE.
 - 2.5. TO PREVENT STATIC CHARGE, DO NOT REENTER YOUR VEHICLE WHILE GASOLINE IS PUMPING.
 - 2.6. IF A FIRE STARTS, DO NOT REMOVE NOZZLE--BACK AWAY IMMEDIATELY.
 - 2.7. DISCHARGE YOUR STATIC ELECTRICITY BEFORE FUELING BY TOUCHING A METAL SURFACE AWAY FROM THE NOZZLE.



GUARD POST DETAILS

- NOTE: VEHICLE IMPACT PROTECTION SHALL COMPLY WITH THE FOLLOWING: (IFC 2012, SECT. 312)
1. CONSTRUCTION OF STEEL NOT LESS THAN 4"Ø.
 2. SPACED NOT MORE THAN 4' BETWEEN POST CENTERS.
 3. SET NOT LESS THAN 3' DEEP IN CONCRETE FOOTING OF NOT LESS THAN 15"Ø.
 4. LOCATED NOT LESS THAN 3' FROM PROTECTED OBJECT.
 5. RESIST NOT LESS THAN 12,000 POUNDS OF FORCE APPLIED 36" ABOVE THE ADJACENT GROUND SURFACE.



ADDRESS:
1128 FM 3005,
GALVESTON, TX, 77554

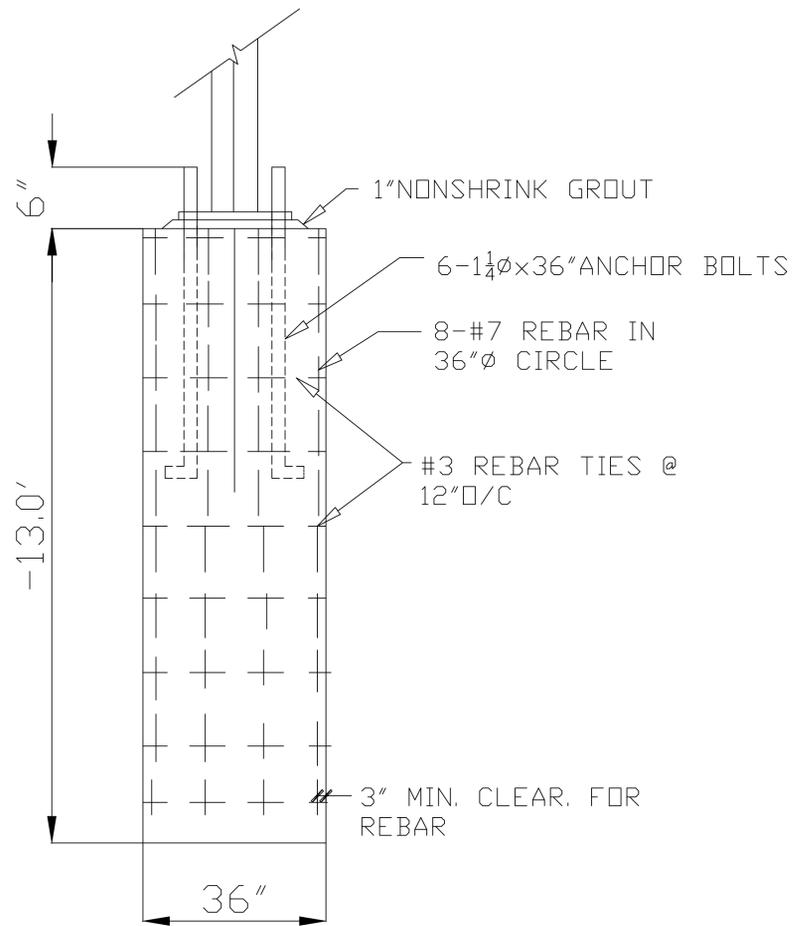


CANOPY ELEVATION
24X78
6-COLUMN

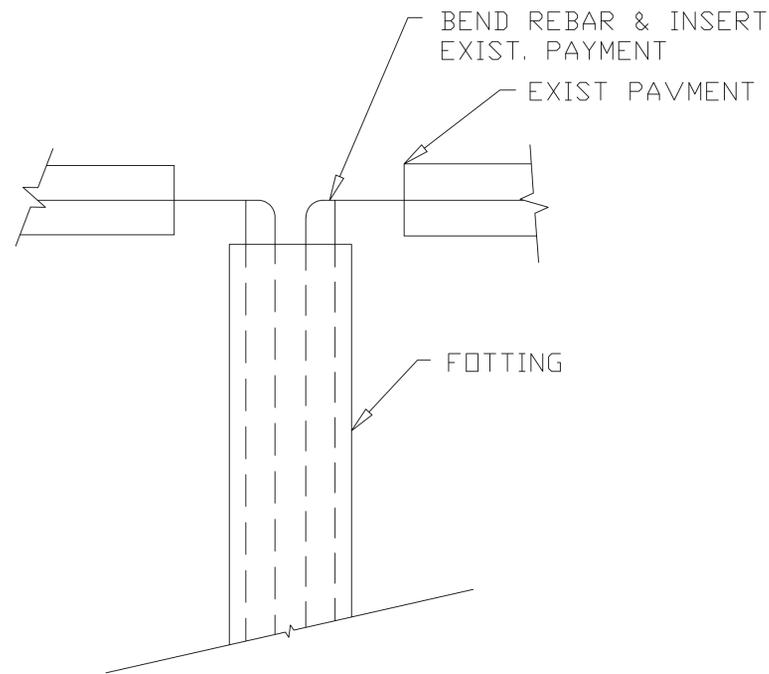
Project number 2019002
Date 7/19/2019
Drawn by
Checked by

S-2

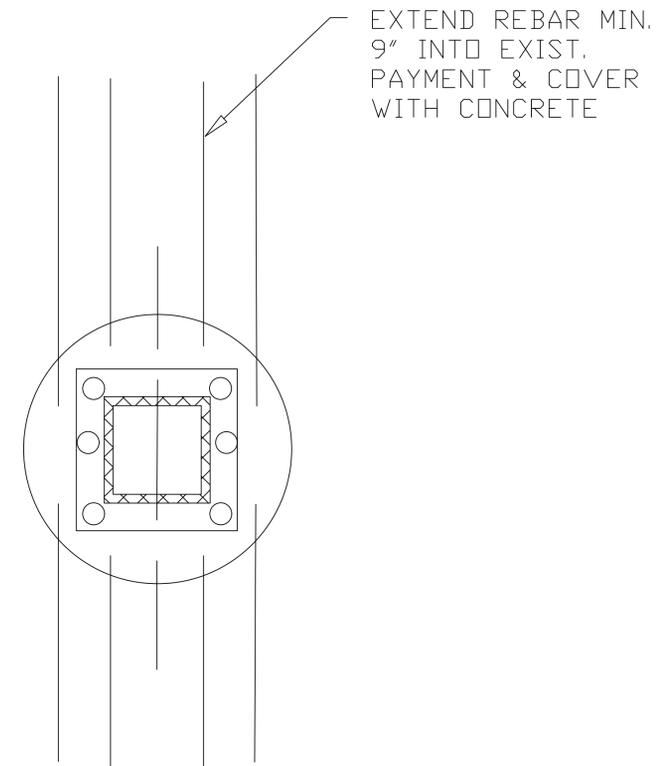
Scale N.T.S.



FOOTER DETAIL



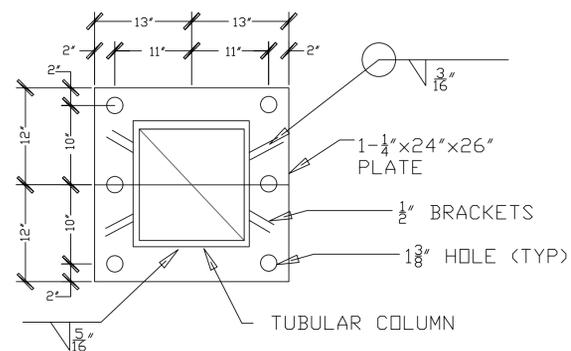
SECTION "A-A"



FOOTING PLAN

FOOTING DESIGN:

DESIGN OF FOUNDATION PER SOIL REPORT ALLOWABLE COMPRESSIVE STRENGTH OF 3000 PSF, WITH NO INCREASE ALLOWED FOR WIND LOADS. THE OWNER IS RESPONSIBLE FOR VERIFYING THAT THE SOIL MEETS THIS MINIMAL STRENGTH REQUIREMENT. ALL CONCRETE TO BE 2500 PSI (MIN.) COMPRESSION IN 28 DAYS. GRADE 60 REINFORCING STEEL TO MEET ASTM A615 SPEC.



3 BASE PLATE SCALE: NTS

STAMP

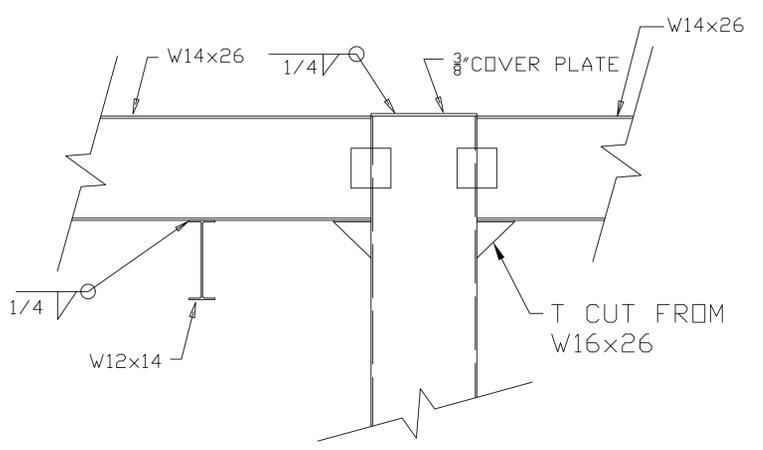
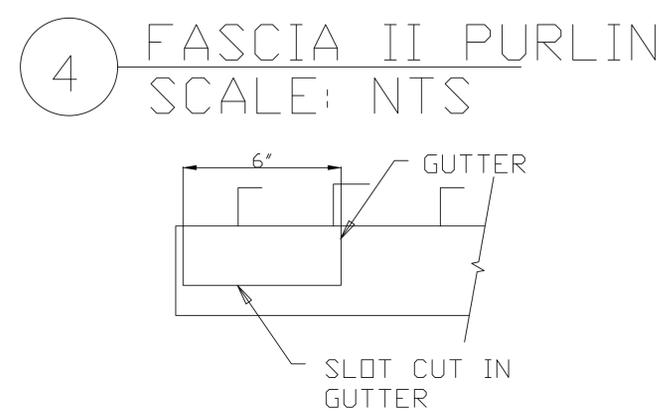
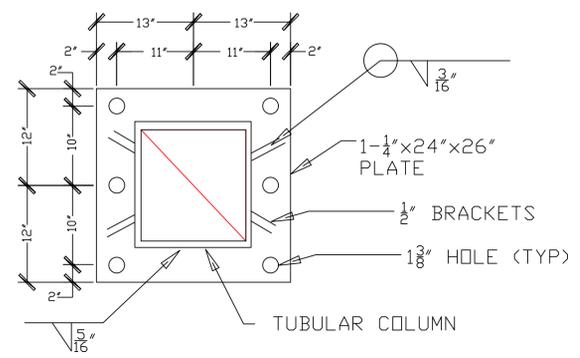
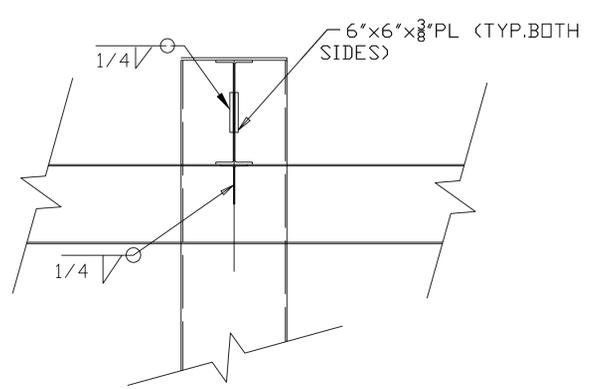
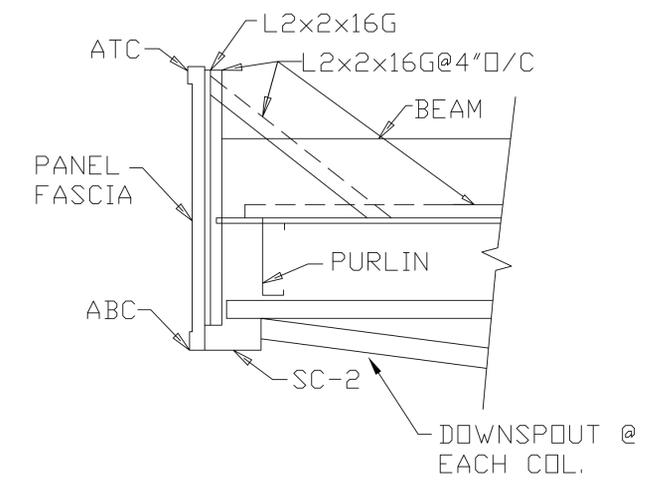
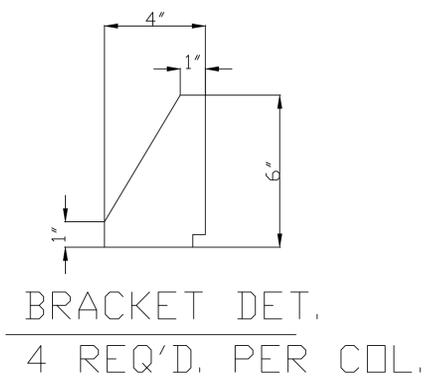
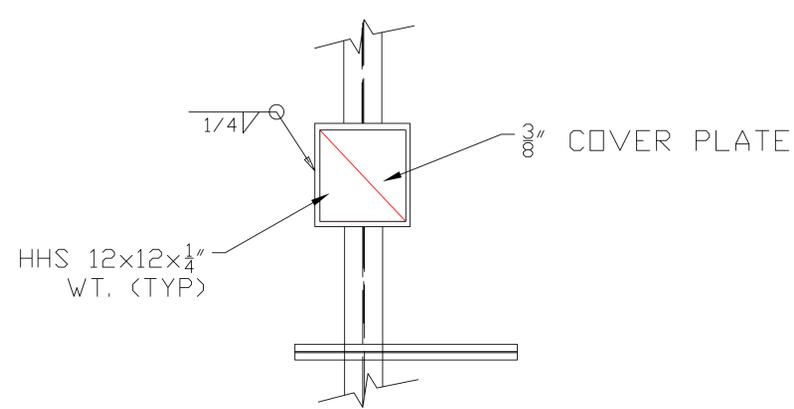


FOOTER DETAILS
24'x78'
6-COLUMN CANOPY

Project number 2019002
Date 7/19/2019
Drawn by
Checked by

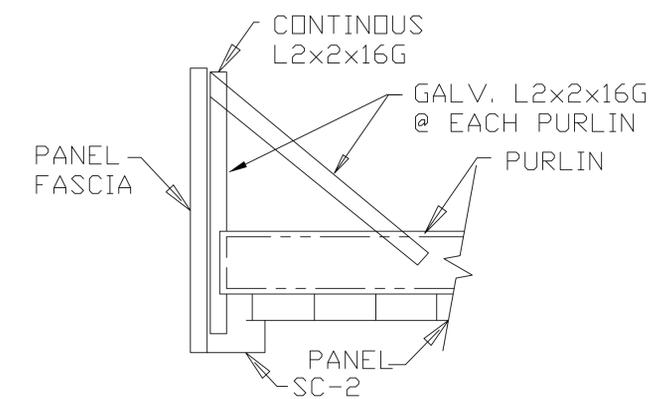
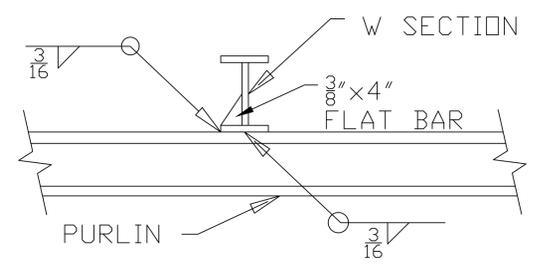
S-3

Scale N.T.S.



3 BASE PLATE
SCALE: NTS

8 GUTTER DETAIL
SCALE: NTS



5 BEAM TO COLUMN
SCALE: NTS

6 BEAM BRACE
SCALE: NTS

7 FASCIA PERP.
SCALE: NTS

Adriel,

As per our conversation day before yesterday here is the time line and proposed time for extention. We will start the construction or will do a ground breaking 3 months after all the necessary permits are obtained from the city that includes stamped building permits. All the construction should be completed 6 months after ground breaking. I am requesting for a 9 to 12 months to start and complete the entire project. Due to COVID-19 getting all the materials on time is a challenge and for that reason I am requesting a 12 month extension to complete the project.

Please let me know if you have any questions or concerns.

Sincerely

Sharif Maredia